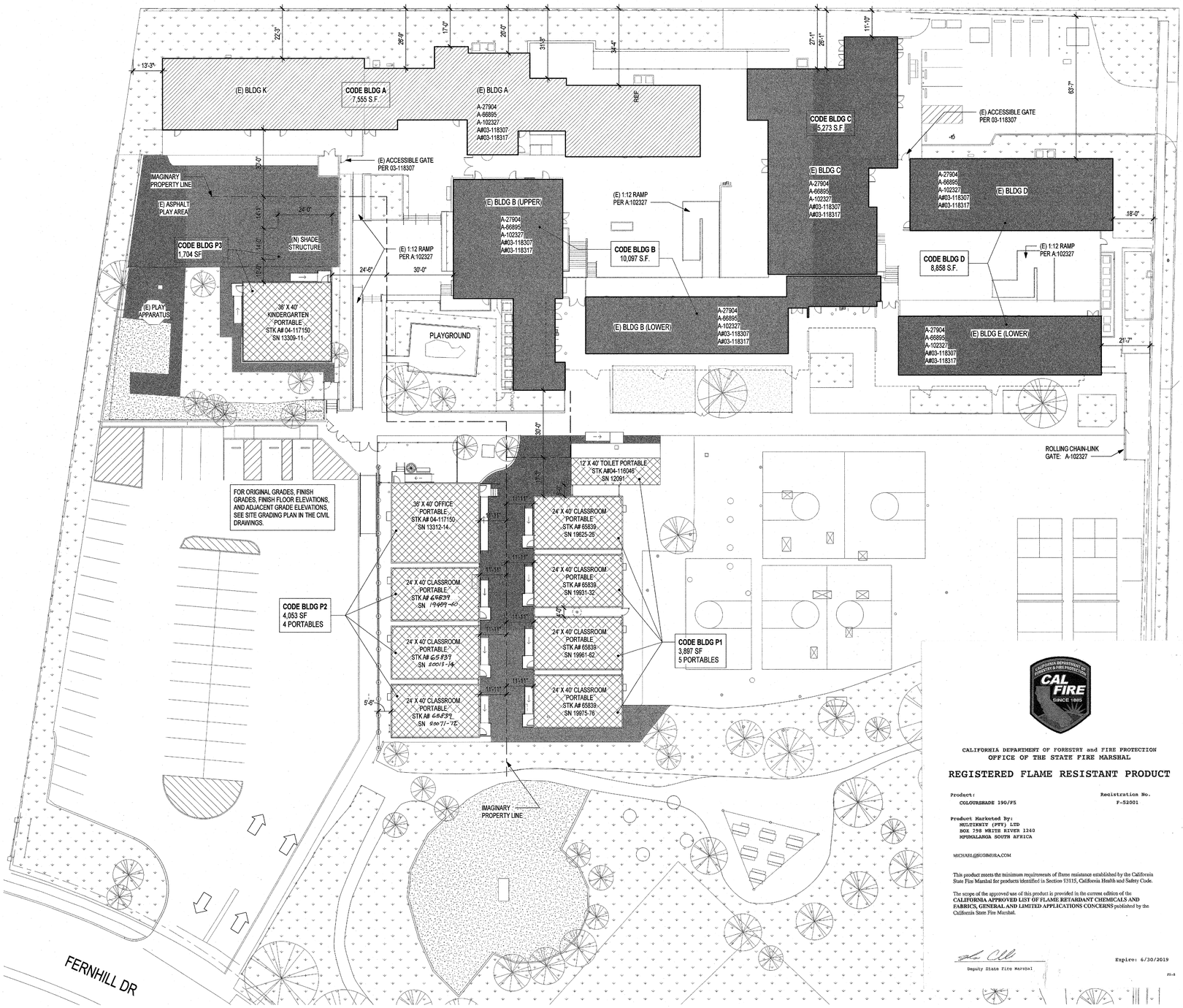

1 CODE ANALYSIS SITE PLAN
1" = 20'-0"

CALIFORNIA DEPARTMENT OF FORESTRY and FIRE PROTECTION
OFFICE OF THE STATE FIRE MARSHAL

REGISTERED FLAME RESISTANT PRODUCT

Product:
COLOURSHADE 190/F5

Registration No.
F-52001

Product Marketed By:
MULTIKNIT (PTY) LTD
BOX 798 WHITE RIVER 1240
MPUMALANGA SOUTH AFRICA

MICHAEL@SUGIMURA.COM

This product meets the minimum requirements of flame resistance established by the California State Fire Marshal for products identified in Section 13115, California Health and Safety Code.

The scope of the approved use of this product is provided in the current edition of the **CALIFORNIA APPROVED LIST OF FLAME RETARDANT CHEMICALS AND FABRICS, GENERAL AND LIMITED APPLICATIONS CONCERNS** published by the California State Fire Marshal.

Deputy State Fire Marshal

Expire: 6/30/2019

FS-8

LEGEND

- EXISTING BUILDING - AREA OF WORK
- NEW PORTABLE BUILDING
- EXISTING BUILDING - NOT IN SCOPE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING CHAIN-LINK FENCE TO REMAIN
- EXISTING ORNAMENTAL FENCE TO REMAIN
- REMOVE EXISTING CHAIN-LINK FENCE
- REMOVE EXISTING ORNAMENTAL FENCE
- (E) FH — EXISTING FIRE HYDRANT TO REMAIN
- PATH OF TRAVEL (P.O.T.)
- ACCESSIBLE RESTROOM
- DF — ACCESSIBLE DRINKING FOUNTAIN

PAST DSA PROJECT NUMBERS

ALL A#'S BELOW CERTIFIED, U.O.N.

A-27904 - ORIGINAL CONSTRUCTION OF SCHOOL, ALL BLDGS
A-66895 - FIRE ALARM REPLACEMENT
A-102327 - REHAB / MODERNIZATION OF ALL BUILDINGS
A-03-118307 - PAINT, FLOORS, DOORS, AND FIRE ALARM PROJECT (UNDER CONSTRUCTION, NOT CERTIFIED)
A-03-118317 - HVAC UPGRADE (CONCURRENT WITH 03-118307, UNDER CONSTRUCTION, NOT CERTIFIED)

CODE ANALYSIS

THIS PROJECT ADDS NEW TEMPORARY HOUSING TO THE EXISTING CAMPUS AND RENOVATES EXISTING SPACES IN BUILDING A.

THIS EXISTING CAMPUS WAS PREVIOUSLY REVIEWED AND APPROVED UNDER THE 1998 CBC. PER TABLE 5-B OF THE 1998 CBC, USE GROUP E-1 TYPE V ONE-HOUR (V-A) CONSTRUCTION WAS ALLOWED 2-STORIES. THERE ARE NO CHANGES TO AREA, USE OR OCCUPANCY. THE EXISTING BUILDINGS (CODE BLDGS A, B, C & D) ARE MULTIPLE BUILDINGS ON THE SAME LOT CONSIDERED AS PORTIONS OF ONE BUILDING. REFER TO ALLOWABLE AREA CALCULATIONS BELOW.

THE NEW TEMPORARY HOUSING WILL BE REGULATED AS SEPARATE BUILDINGS FROM THE EXISTING BUILDINGS. IMAGINARY PROPERTY LINES ARE SHOWN ON THE CODE ANALYSIS SITE PLAN.

THE FOLLOWING EXISTING BUILDING CODE ANALYSIS IS FOR REFERENCE ONLY, NOT FOR APPROVAL.

EXISTING BUILDING CODE ANALYSIS (FOR REFERENCE ONLY):

(E) BUILDING	OCCUPANCY GROUP	CONST. TYPE	ALLOWABLE BLDG. HEIGHT	ACTUAL BLDG. HEIGHT	ALLOWABLE FLOOR AREA	ACTUAL BUILDING AREA
A	E-1	VA	2 STORY	1 STORY	15,700 S.F.	7,555 S.F.
B	E-1	VA	2 STORY	2 STORY	15,700 S.F.	10,097 S.F.
C	E-1 A-2 (CAFETORIUM)	VA	2 STORY	1 STORY	15,700 S.F.	3,283 S.F. 1,990 S.F.
D	E	VA	2 STORY	2 STORY	15,700 S.F.	8,858 S.F.
(NO CHANGE ON TOTAL EXISTING AREA)				TOTAL EXISTING AREA		31,783 S.F.

ALLOWABLE AREA
PER 2016 CBC SECTION 705.3 EXCEPTION #1, TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE EITHER REGULATED AS SEPARATE BUILDINGS OR SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING IF THE AGGREGATE AREA OF SUCH BUILDINGS IS WITHIN THE LIMITS SPECIFIED IN CH. 5 FOR A SINGLE BUILDING. BELOW ARE THE CALCULATIONS FOR ALLOWABLE AREA PER STORY FOR THIS PROJECT.

OCCUPANCY: E
CONSTRUCTION TYPE: VA
SPRINKLER: UNSPRINKLERED
BASIC ALLOWABLE AREA (At): 18,500 S.F.
FIRE ALARM: VOICE EVAC.

AREA INCREASE
I = (F/P - 0.25)W/30
W = ((30'x861'-3")+(22'-3"x92'-8")+(26'-10"x29'-1")+(20'x27'-4")+(27'-1"x43'-3")+(30'-0"x31'-10")+(30'-0"x64'-8"))/1,150'
= 28.95
I = (1150/1222 - 0.25) (28.95/30) = .666

ALLOWABLE AREA PER STORY
Aa = (At + (At x I))
Aa = (18,500 + (18,500 x .666)) = 30,821 S.F.

ACTUAL AREA
MAIN LEVEL: 25,430 S.F.
LOWER LEVEL: 6,353 S.F.

EACH STORY IS WITHIN THE ALLOWABLE AREA PER STORY. THEREFORE, IMAGINARY PROPERTY LINES ARE NOT REQUIRED FOR THE EXISTING BUILDINGS.

NEW TEMPORARY HOUSING BUILDING CODE ANALYSIS:
APPLICABLE CODE: 2016 CALIFORNIA BUILDING CODE (PART 2, TITLE 24, C.C.R.)
SPRINKLER: UNSPRINKLERED
FIRE ALARM: VOICE EVAC.

BUILDINGS ON THE SAME LOT:
PER 2016 CBC SECTION 705.3 EXCEPTION #1, TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE EITHER REGULATED AS SEPARATE BUILDINGS OR SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING IF THE AGGREGATE AREA OF SUCH BUILDINGS IS WITHIN THE LIMITS SPECIFIED IN CH. 5 FOR A SINGLE BUILDING.

CODE BLDG P1 CONTAINS (5) PORTABLE BUILDINGS ON THE SAME LOT AS PORTIONS OF ONE BUILDING.

CODE BLDG P2 CONTAINS (4) PORTABLE BUILDINGS ON THE SAME LOT AS PORTIONS OF ONE BUILDING.

CODE BLDG P3 CONTAINS (1) PORTABLE BUILDING WITH (1) NON SEPARATED ACCESSORY USE SHADE STRUCTURE ON THE SAME LOT AS PORTIONS OF ONE BUILDING.

BUILDING	OCCUPANCY GROUP	CONST. TYPE	ALLOWABLE BLDG. HEIGHT	ACTUAL BLDG. HEIGHT	ALLOWABLE FLOOR AREA	ACTUAL BUILDING AREA
P1	E	VB	1 STORY	1 STORY	9,500 S.F.	3,897 S.F.
P2	E	VB	1 STORY	1 STORY	9,500 S.F.	4,053 S.F.
P3	A-3	VB	1 STORY	1 STORY	6,000 S.F.	1,368 S.F.
W/ NON-SEPARATED ACCESSORY USE (SHADE STRUCTURE)						336 S.F.
			SEE REGISTRATION # F-52001			1,704 S.F.
					TOTAL NEW AREA	9,654 S.F.

NOTE:
REFERENCE DRAWING G0.01 FOR HIGH HAZARD SEVERITY ZONE BUILDING CONSTRUCTION REQUIREMENTS

SMMUSD
SANTA MONICA-MALIBU UNIFIED SCHOOL DISTRICT
2828 4th Street, Santa Monica, CA 90405
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415.839.6418 / Fax 415.839.7584
1539 Sawtelle Blvd, Suite 14, Los Angeles, CA 90025
310.254.2263

LICENSED ARCHITECT
JEFFERY M. FULLER
No. C-39652
Exp. 04-30-19
STATE OF CALIFORNIA

CONSULTANT

PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
FLS SSS
DATE DEC 1 1 2018

KEY PLAN
K A C D B E
PROJECT NORTH

PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
CODE ANALYSIS - DSA HISTORY & OCCUPANCY

DSK JOB NO: 17012B

SHEET NUMBER
A0.01

DRAFTER: JL/JH PM: JL REVIEWER: JF

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DSA 810

LOCAL FIRE AUTHORITY REVIEW

To facilitate the Division of the State Architect's (DSA) approval of the Fire/Life Safety portion of a project, DSA requires Local Fire Authority (LFA) review of certain elements as identified in this form. Use of this form is mandatory for projects that add square footage to a campus or if any item on this form is relevant to the project. For additional information, see DSA 810 instructions and DSA Policy 09-01.

PROJECT INFORMATION

School District/Owner:	Santa Monica-Malibu Unified School District
Project Name/School:	Point Dume E.S. Temporary Housing Project
Project Address:	6955 Fernhill Drive, Malibu, CA 90265

LOCAL FIRE AUTHORITY (LFA)

LFA Agency Name: LACoFD

LFA Reviewer Name: C. KENNELLY Title: FPEA II

Work Email: n/a Work Telephone Number: 818-880-0941

I have reviewed and responded to the applicable items for this project as listed below.

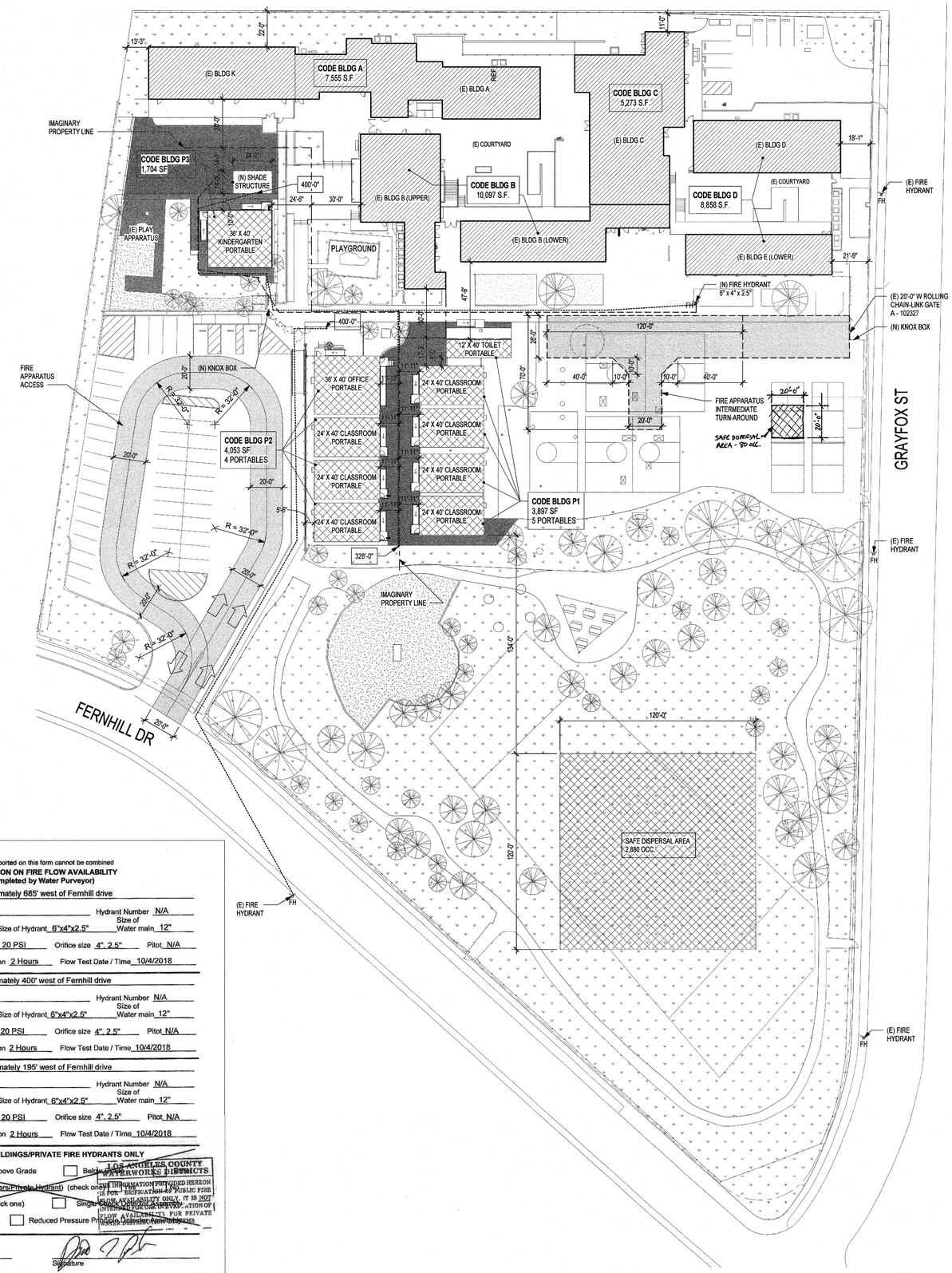
Note: Only sign this form when it is imaged onto the site plan. A loose form is not acceptable to DSA.

LFA Reviewer's Signature: [signature] Date: 10-15-18

Review Key: "Y" = Complies with LFA requirements; "N" = Not approved (complete Section 8); "NA" = Not applicable to the project; "NR" = LFA elects not to review

	Description	Y	N	NA	NR
1	Where an elevator does not meet medical emergency service cab size, per the California Building Code (CBC), use of stairways for emergency rescue and patient transport is acceptable.			✓	
2	Access roads, fire lane markings, pavers and gate entrances are in accordance with Title 19, California Code of Regulations and the California Fire Code, Chapter 5.	✓			
3	Fire hydrant location and distribution complies with the California Fire Code (or see # 4).	✓			
4	Fire hydrant location and distribution complies with NFPA 1142, "Alternate Means." If "NR" is checked, DSA can only approve on-site water storage as an alternate. The signature of the school district official is required to acknowledge the use of alternate means.			✓	
	Signature of School District Official: Date:				
	Print the School District Official's Name:				
5	The location(s) of the proposed post indicator valve and fire department connection meet the requirements of this jurisdiction.			✓	
6	The location(s) of the detector check valve assembly meet the requirements of this jurisdiction.			✓	
7	Is the project located in a hazard severity zone area? (CBC, Chapter 7A, Section 701A.) ☑ Yes ☐ No Check type if "Yes": ☐ Moderate ☐ High ☑ Very High ☐ WIFA (If one of these boxes is checked, the project design must meet the requirements of Chapter 7A.)				
8	COMMENTS (note deficiencies):				

DSA 810 (rev 01-24-18) DIVISION OF THE STATE ARCHITECT — DEPARTMENT OF GENERAL SERVICES — Page 1 of 1 STATE OF CALIFORNIA



1 FIRE ACCESS SITE PLAN
1" = 30'-0"

TRUE N

LEGEND

- EXISTING BUILDING
- (N) PORTABLE BUILDINGS
- EXISTING LANDSCAPE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING CHAIN-LINK FENCE TO REMAIN
- EXISTING ORNAMENTAL FENCE TO REMAIN
- FH FIRE HYDRANT
- FIRE HOSE PATH

COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION

FORM 196
Rev. 04/03

Fire Prevention Engineering
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4125 Fax (323) 890-4129

Information on Fire Flow Availability for Building Permit

For All Buildings Other Than Single Family Dwellings (R-3)

INSTRUCTIONS:

Complete parts I, II (A) when:
Verifying fire flow, fire hydrant location and fire hydrant size.

Complete parts I, II (A), & II (B) when:
For buildings equipped with fire sprinkler systems, and/or private on-site fire hydrants.

LOS ANGELES COUNTY WATERWORKS DISTRICTS
THE INFORMATION PROVIDED HEREON IS FOR VERIFICATION OF PUBLIC FIRE FLOW AVAILABILITY ONLY. IT IS NOT INTENDED FOR USE IN EVALUATION OF FLOW AVAILABILITY FOR PRIVATE WATER DISTRIBUTION SYSTEMS

PROJECT INFORMATION
(To Be Completed By Applicant)

PART I

Building Address: 6955 Fernhill Drive
City or Area: Malibu
Nearest Cross Street: Fernhill and Grayfox
Distance of Nearest Cross Street: 525 ft (Fire Access is off Grayfox)
Applicant: dsk architects Telephone: (310) 254-9771
Address: 1539 Sawtelle Blvd.
City: Los Angeles, 90025
Occupancy (Use of Building): E (School) Sprinklered: Yes ☐ No ☒
Type of Construction: 5B (New Portable Buildings)
Square Footage: 10,080 Number of Stories: 1
Present Zoning: I (Institutional)

Applicant's Signature: [signature] Date: 08/27/2018

*The flows reported on this form cannot be combined

PART II-A **INFORMATION ON FIRE FLOW AVAILABILITY**
(To be completed by Water Purveyor)

Location: Along Grayfox Street, approximately 685' west of Fernhill drive
Hydrant Number: N/A
Distance from Nearest Property Line: 0' (fronting) Size of Hydrant: 6"x4"x2.5" Size of Water main: 12"
Static PSI: 96 Residual PSI: 20 PSI Orifice size: 4", 2.5" Pitot: N/A
Fire Flow at 20 PSI: 1,750 gpm* Duration: 2 Hours Flow Test Date / Time: 10/4/2018

Location: Along Grayfox Street, approximately 400' west of Fernhill drive
Hydrant Number: N/A
Distance from Nearest Property Line: 0' (fronting) Size of Hydrant: 6"x4"x2.5" Size of Water main: 12"
Static PSI: 96 Residual PSI: 20 PSI Orifice size: 4", 2.5" Pitot: N/A
Fire Flow at 20 PSI: 1,750 gpm* Duration: 2 Hours Flow Test Date / Time: 10/4/2018

Location: Along Grayfox Street, approximately 195' west of Fernhill drive
Hydrant Number: N/A
Distance from Nearest Property Line: 0' (fronting) Size of Hydrant: 6"x4"x2.5" Size of Water main: 12"
Static PSI: 98 Residual PSI: 20 PSI Orifice size: 4", 2.5" Pitot: N/A
Fire Flow at 20 PSI: 1,750 gpm* Duration: 2 Hours Flow Test Date / Time: 10/4/2018

PART II-B **SPRINKLERED BUILDINGS/PRIVATE FIRE HYDRANTS ONLY**

Detector Location (check one): ☐ Above Grade ☐ Below Grade
Backflow Protection Required (Fire Sprinklers/Private Hydrant) (check one): ☐ Yes ☐ No
Minimum Type of Protection Required (check one): ☐ Single Check Detector Assembly ☐ Double Check Detector Assembly ☐ Reduced Pressure Principle Detector Assembly

LOS ANGELES COUNTY WATERWORKS DISTRICTS
THE INFORMATION PROVIDED HEREON IS FOR VERIFICATION OF PUBLIC FIRE FLOW AVAILABILITY ONLY. IT IS NOT INTENDED FOR USE IN EVALUATION OF FLOW AVAILABILITY FOR PRIVATE WATER DISTRIBUTION SYSTEMS

L. A. Co. Waterworks District # 29
Water Purveyor
10/9/2018
Date
Signature: [signature]
David Rydman, Senior Civil Engineer
Title

This Information is Considered Valid for Twelve Months

Fire Department approval of building plans shall be required prior to the issuance of a Building Permit by the jurisdictional Building Department. Any deficiencies in water systems will need to be resolved by the Fire Prevention Division only prior to this department's approval of building plans.

6955 Fernhill Drive
(2)

COUNTY OF LOS ANGELES
FIRE DEPARTMENT
FIRE PREVENTION ENGINEERING
APPROVED
FOR E/B
OCCUPANCY ONLY
By [signature]
Fire Prevention Engineer
Date 10-15-18
☒ Subject to field inspection approval.
☐ Subject to conditions on plans.
The stamping of this plan and specifications SHALL NOT be held to permit or be an approval of the violation of any provisions of any County/City Ordinance or State Law.

SMMUSD
SANTA MONICA-MALIBU UNIFIED SCHOOL DISTRICT
2828 4th Street, Santa Monica, CA 90405
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310.254.2263

LICENSED ARCHITECT JEFFERY M. PULLER No. C-39552 Exp. 04-30-19 STATE OF CALIFORNIA
CONSULTANT

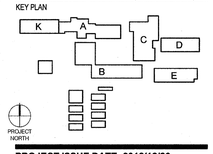
PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
ACS FLS SSS
Date DEC 2 1 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE: FIRE ACCESS SITE PLAN
DSK JOB NO: 17012B

SHEET NUMBER: A0.02

DRAFTER: JL PM: JL REVIEWER: JF

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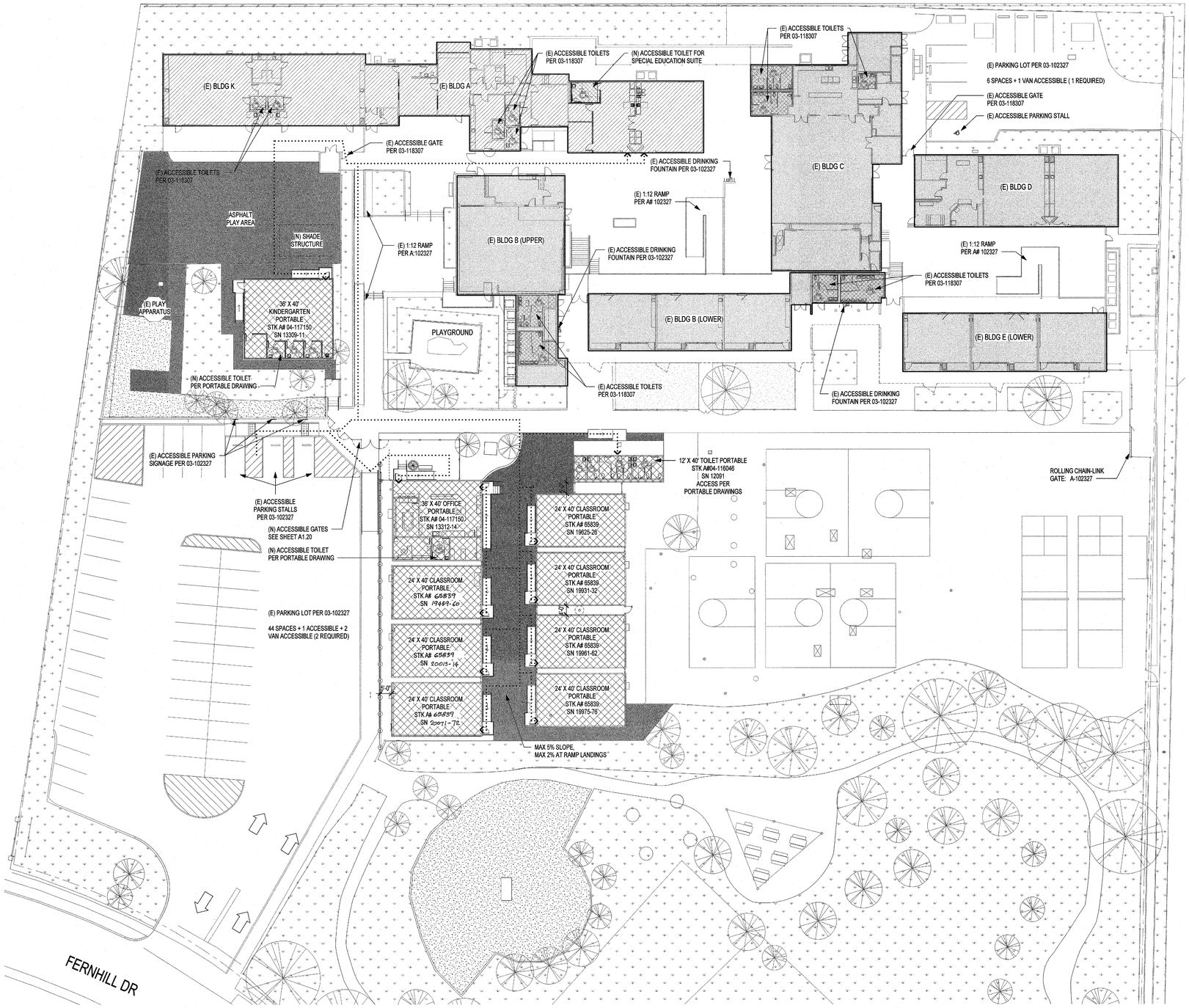

1 ACCESS SITE PLAN
1" = 20'-0"

LEGEND

- EXISTING BUILDING - AREA OF WORK
- NEW PORTABLE BUILDING
- EXISTING BUILDING - NOT IN SCOPE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING CHAIN-LINK FENCE TO REMAIN
- EXISTING ORNAMENTAL FENCE TO REMAIN
- REMOVE EXISTING CHAIN-LINK FENCE
- REMOVE EXISTING ORNAMENTAL FENCE
- (E) FH — EXISTING FIRE HYDRANT TO REMAIN
- PATH OF TRAVEL (P.O.T.)
- ACCESSIBLE RESTROOM
- DF — ACCESSIBLE DRINKING FOUNTAIN

GENERAL NOTES

1. ALL (E) DOORS IN THE PATH OF TRAVEL TO AREA OF WORK AND ALL (E) EXIT DOORS THAT ARE REQUIRED TO BE ACCESSIBLE SHALL HAVE A MINIMUM 32" CLEAR WIDTH, HAVE A MAXIMUM 1/2" HIGH, COMPLAINT THRESHOLD, LEVER HARDWARE MOUNTED BETWEEN 30" AND 44", MAXIMUM 5 LBS. FORCE TO OPERATE, AND REQUIRED CLEAR AREAS.

2. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".

3. THE PATH OF TRAVEL IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE PATH OF TRAVEL WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE PATH OF TRAVEL THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THE THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE PATH OF TRAVEL THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.
DURING CONSTRUCTION, IF PATH OF TRAVEL ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH CALIFORNIA BUILDING CODE AS PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

PLUMBING FIXTURE COUNT

B OCCUPANCY

AREA: 1,340 S.F.
OCCUPANT LOAD FACTOR: 200
TOTAL OCCUPANTS: 7

WATER CLOSETS

	OCC.	WC/OCC	WC REQ.	WC PROVIDED
MALE	3.5	1/50	1	1.5
FEMALE	3.5	1/15	1	1.5

LAVATORIES

	OCC.	LAV/OCC	LAV REQ.	LAV PROVIDED
MALE	3.5	1/75	1	1.5
FEMALE	3.5	1/50	1	1.5

DRINKING FOUNTAINS
DF/OCC - 1/150
DF REQ. - 1
DF PROVIDED - 2 (EXISTING)

SERVICE SINK
REQ. - 1
PROVIDED - 1 (EXISTING)

E OCCUPANCY

AREA: 7,350 S.F.
OCCUPANT LOAD FACTOR: 50
TOTAL OCCUPANTS: 147

WATER CLOSETS

	OCC.	WC/OCC	WC REQ.	WC PROVIDED	URINAL REQ. / PROVIDED
MALE	73.5	1/50	2	3	1 / 2
FEMALE	73.5	1/30	3	5	

LAVATORIES

	OCC.	LAV/OCC	LAV REQ.	LAV PROVIDED
MALE	73.5	1/40	2	3
FEMALE	73.5	1/40	2	3

DRINKING FOUNTAINS
DF/OCC - 1/150
DF REQ. - 1
DF PROVIDED - 2 (EXISTING)

SERVICE SINK
REQ. - 1
PROVIDED - 1 (EXISTING)

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LICENSED ARCHITECT JEFFERY M. FULLER No. C-39652 Exp. 04-30-19 STATE OF CALIFORNIA

CONSULTANT

PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

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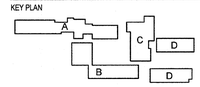
KEY PLAN



PROJECT NORTH

PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
CODE ANALYSIS - ACCESSIBILITY & PLUMBING

DSK JOB NO: 17012B

SHEET NUMBER
A0.03

DRAFTER: JL PM: JL REVIEWER: JF

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KEYNOTE LEGEND

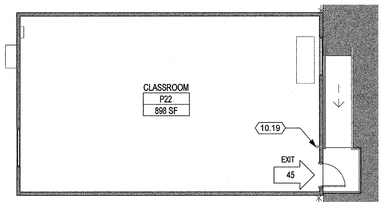
10.16	EXISTING FIRE EXTINGUISHER TO REMAIN.
10.19	NEW FIRE EXTINGUISHER PROVIDED WITH PORTABLE BUILDING.

OCCUPANCY TABULATION PER 2013 CBC TABLE 1004.1.1 (BLDG A,C,D)

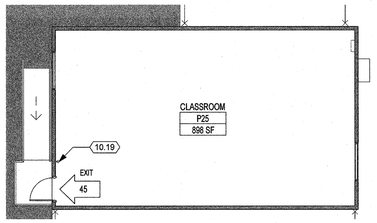
Building ID	RM. NO.	ROOM NAME	OCC. TYPE	AREA	LOAD FACTOR	OCC. LOAD	EXITS REQUIRED	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED (INCHES)	EXIT WIDTH PROVIDED (INCHES)
BLDG A										
BLDG A	A1	RESOURCE	Educational Classroom area	516 SF	20	26	1	0.2	5.26	32
BLDG A	A1A	OFFICE	Business Areas	137 SF	100	2	1	0.2	0.37	32
BLDG A	A2	CLASSROOM	Educational Classroom area	883 SF	20	45	1	0.2	8.93	32
BLDG A	A111	COMMU. SERVICES	Assembly Standing Space	272 SF	15	19	1	0.2	3.72	56
BLDG A	A112	OFFICE	Business Areas	324 SF	100	4	1	0.2	0.75	32
BLDG A	A114	ADMIN.	Business Areas	395 SF	100	4	1	0.2	0.89	32
BLDG A	A116	WORKROOM	Business Areas	166 SF	100	2	1	0.2	0.43	32
BLDG A	A118A	COPY ROOM	Business Areas	42 SF	100	1	1	0.2	0.18	32
BLDG A	A122	NURSE	Business Areas	276 SF	100	3	1	0.2	0.65	64
BLDG A	A126	TEACHER'S LOUNGE	Assembly Standing Space	292 SF	15	20	1	0.2	3.99	64
CODE BLDG P1										
CODE BLDG P1	P25	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P1	P26	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P1	P27	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P1	P28	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P2										
CODE BLDG P2	P22	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P2	P23	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P2	P24	CLASSROOM	Educational Classroom area	898 SF	20	45	1	0.2	9.08	32
CODE BLDG P2	P160	ADMINISTRATION	Business Areas	761 SF	100	8	1	0.2	1.62	64
CODE BLDG P2	P160A	CONFERENCE	Assembly Unconcentrated (tables and chairs)	171 SF	15	12	1	0.2	2.37	32
CODE BLDG P2	P160B	PRINCIPAL	Business Areas	167 SF	100	2	1	0.2	0.43	32
CODE BLDG P2	P160C	NURSE	Business Areas	140 SF	100	2	1	0.2	0.38	32
CODE BLDG P3										
CODE BLDG P3	P21	KINDERGARTEN CLASSROOM	Educational Classroom area	1064 SF	20	54	2	0.2	10.73	64
CODE BLDG P3	P21A	OFFICE	Business Areas	101 SF	100	1	1	0.2	0.3	32
Grand total: 23						523				

LEGEND

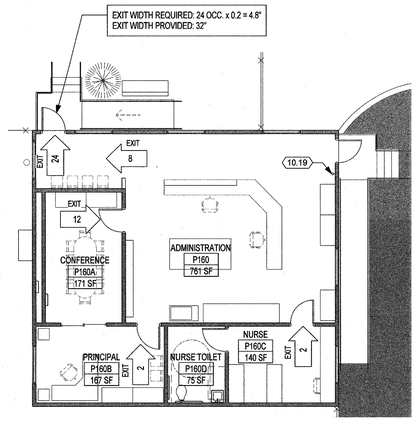
- EXIT — EXIT
- OCCUPANT LOAD
- EXISTING PARTITION/WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR, SEE DOOR SCHEDULE



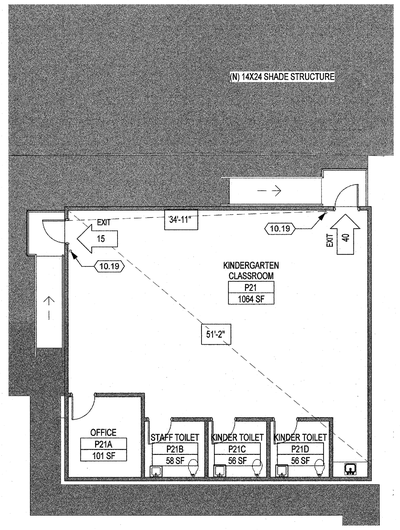
5 LEFT HAND ENTRY PORTABLE BLDG - EGRESS (TYP.)
1/8" = 1'-0"



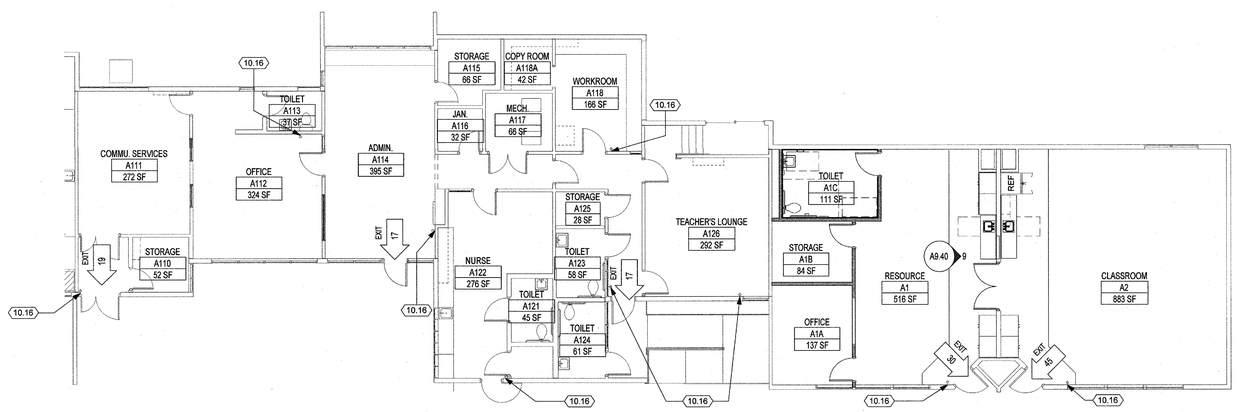
4 RIGHT HAND ENTRY PORTABLE BLDG - EGRESS (TYP.)
1/8" = 1'-0"



3 RELOCATEABLE OFFICE BUILDING - EGRESS
1/8" = 1'-0"



2 KINDERGARTEN PORTABLE - EGRESS
1/8" = 1'-0"



1 EXITING FLOOR PLAN - BUILDING A
1/8" = 1'-0"

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LICENSED ARCHITECT JEFFERY M. FULLER No. C-31652 Exp. 04-30-19 STATE OF CALIFORNIA

CONSULTANT

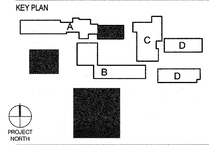
PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
Date DEC 2 1 2018 PLS SSS

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE — DSK JOB NO: 17012B
EXITING FLOOR PLANS - BUILDING A, PORTABLES

SHEET NUMBER
A0.04

DRAFTER: Author — PM: JL — REVIEWER: JF

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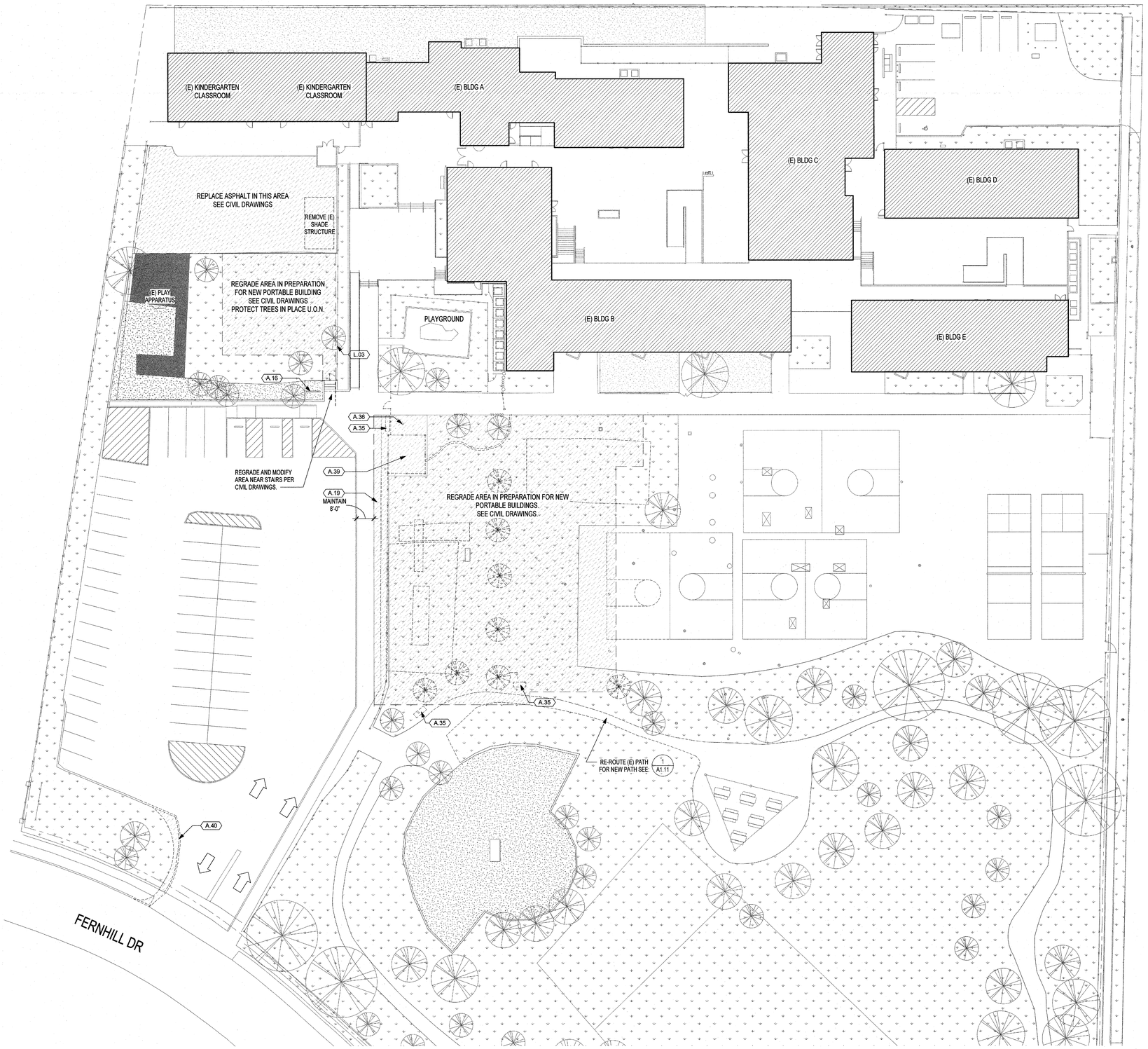

1 DEMO SITE PLAN
1" = 20'-0"

TRUE N

KEYNOTE LEGEND

A.16	EXISTING MARQUEE SCHOOL SIGN TO REMAIN.
A.19	SAW CUT AND REMOVE PORTION OF EXISTING SIDEWALK AS SHOWN.
A.35	REMOVE EXISTING BENCH AND RETURN TO DISTRICT.
A.36	PROTECT EXISTING FLAGPOLE IN PLACE.
A.39	REMOVE EXISTING BIKE RACKS AND RETURN TO DISTRICT.
A.40	REMOVE (E) ASPHALT/CONC. CURB. CONC. DRIVEWAY & GRASS/PLANTINGS AS REQ'D TO ENLARGE EXISTING DRIVEWAY ACCESS. SEE SITE PLAN.
L.03	PRUNE EXISTING TREE AS REQUIRED FOR ADJACENT WORK.

LEGEND

- EXISTING BUILDING - AREA OF WORK
- NEW PORTABLE BUILDING
- EXISTING BUILDING - NOT IN SCOPE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING CHAIN-LINK FENCE TO REMAIN
- EXISTING ORNAMENTAL FENCE TO REMAIN
- REMOVE EXISTING CHAIN-LINK FENCE
- REMOVE EXISTING ORNAMENTAL FENCE
- (E) FH — EXISTING FIRE HYDRANT TO REMAIN
- PATH OF TRAVEL (P.O.T.)
- ACCESSIBLE RESTROOM
- DF — ACCESSIBLE DRINKING FOUNTAIN

GENERAL NOTES

1. KEYNOTES ARE TYPICAL UNLESS OTHERWISE NOTED.
2. PROTECT ALL TREES IN PLACE UNLESS OTHERWISE NOTED.
3. BRING ANY GRATES, CLEAN-OUTS, ACCESS PANELS, UTILITIES, OR OTHER IN-GROUNDCONDITIONS NOT IDENTIFIED ON THE ARCHITECTURAL OR CIVIL DRAWINGS TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY. DO NOT REMOVE OR COVER UNTIL DIRECTED.
4. FOR CDP REVIEWER: PROJECT DOES NOT INCLUDE DEMOLITION/ REPLACEMENT OF ANY EXISTING EXTERIOR WALLS.

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CONSULTANT

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FACILITY INFO
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AGENCY STAMP

FILE NUMBER: 19-96
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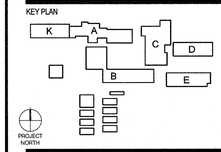
KEY PLAN



PROJECT NORTH

PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
DEMO SITE PLAN

DSK JOB NO: 17012B

SHEET NUMBER
A1.01

DRAFTER: JH/JL PM: JL REVIEWER: JF

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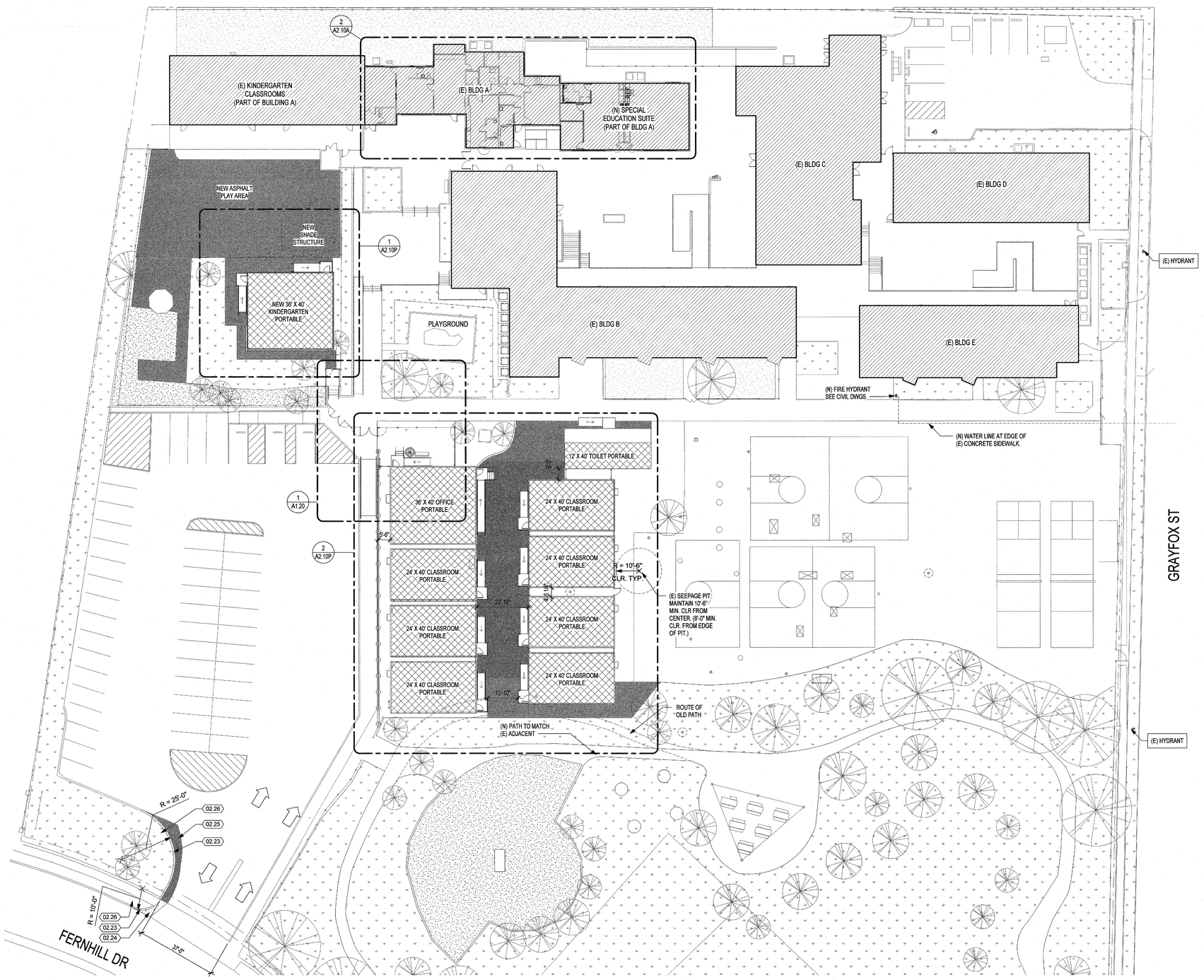

1 SITE PLAN
1" = 20'-0"

LEGEND

- EXISTING BUILDING - AREA OF WORK
- NEW PORTABLE BUILDING
- EXISTING BUILDING - NOT IN SCOPE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING CHAIN-LINK FENCE TO REMAIN
- EXISTING ORNAMENTAL FENCE TO REMAIN
- REMOVE EXISTING CHAIN-LINK FENCE
- REMOVE EXISTING ORNAMENTAL FENCE
- (E) FH — EXISTING FIRE HYDRANT TO REMAIN
- PATH OF TRAVEL (P.O.T.)
- ACCESSIBLE RESTROOM
- DF — ACCESSIBLE DRINKING FOUNTAIN

GENERAL NOTES

1. ALL KEYNOTES ARE TYPICAL UNLESS OTHERWISE NOTED.
2. CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL WALLS AND FLOORING DAMAGED DURING DEMOLITION IN SCOPE OF WORK.
3. CONCRETE PAD SIZES TO BE VERIFIED IN FIELD.
4. PORTABLE BUILDINGS WILL BE PROCURED AND INSTALLED BY THE DISTRICT UNDER A SEPARATE CONTRACT. G.C. TO PROVIDE SITE WORK, FENCES, UTILITIES, CONNECTIONS, AND EXTERIOR LIGHTING.

KEYNOTES

02.23 NEW CONCRETE CURB. PROVIDE SMOOTH TRANSITION TO EXISTING CURB. SEE CIVIL.
02.24 PATCH CONC. DRIVEWAY/SIDEWALK AS REQ'D TO MATCH EXISTING. SEE CIVIL.
02.25 PATCH ASPHALT AS REQ'D TO MATCH EXISTING. SEE CIVIL.
02.26 PATCH SOD AS REQ'D TO MATCH EXISTING. SEE CIVIL.

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FACILITY INFO
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6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
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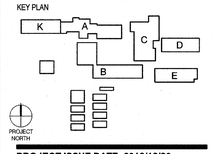
DIVISION OF THE STATE ARCHITECT
03-119266
ACS. FLS. SSS.
Date: DEC 21 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
SITE PLAN

DSK JOB NO: 17012B

SHEET NUMBER
A1.11

DRAFTER: JH/JL PM: JL REVIEWER: JF

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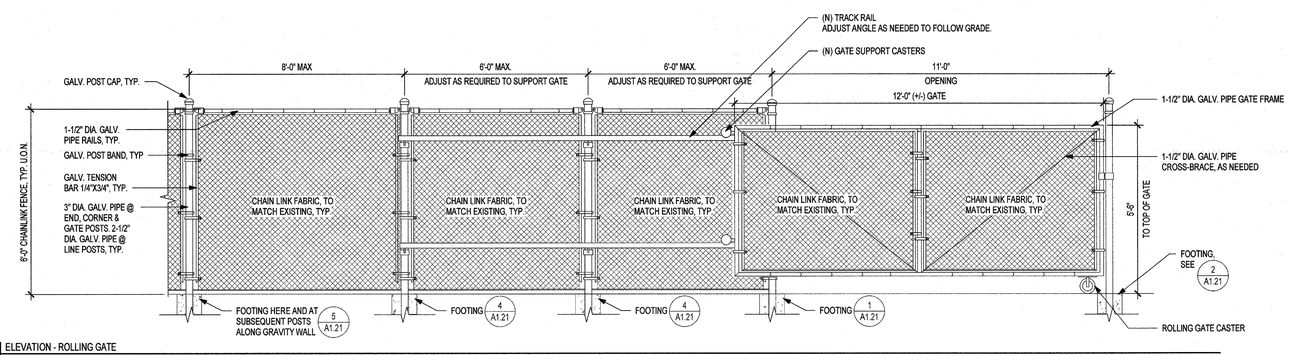
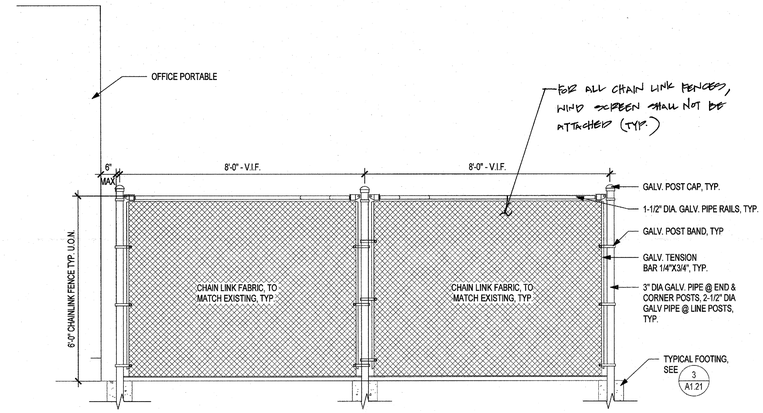
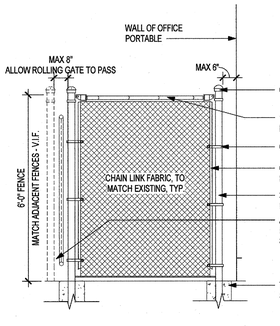


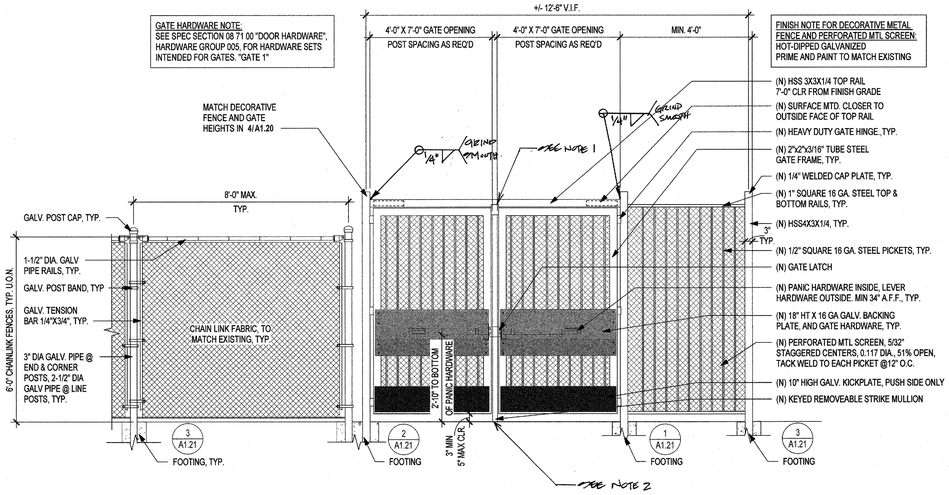
8 ELEVATION - ROLLING GATE
1/2" = 1'-0"



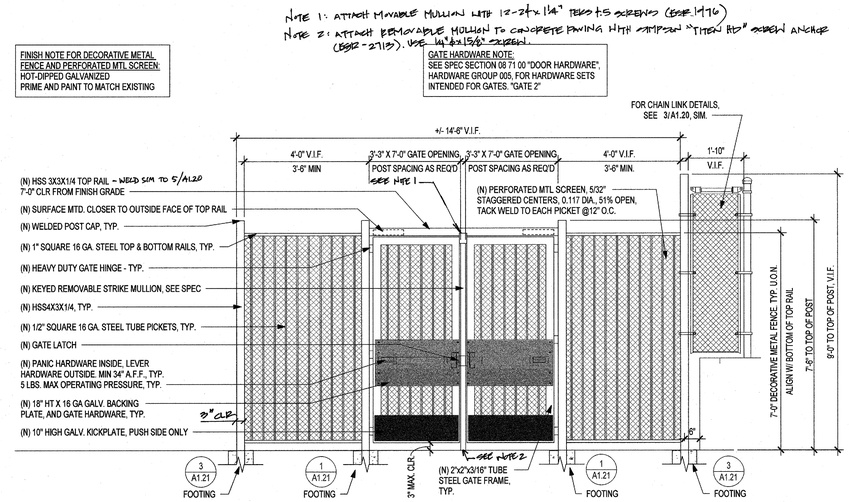
7 ELEVATION - FRONT OFFICE FENCE
1/2" = 1'-0"



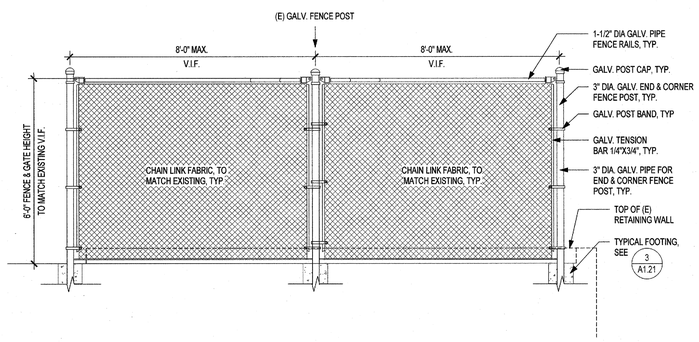
6 ELEVATION - INFILL FENCE BY OFFICE
1/2" = 1'-0"



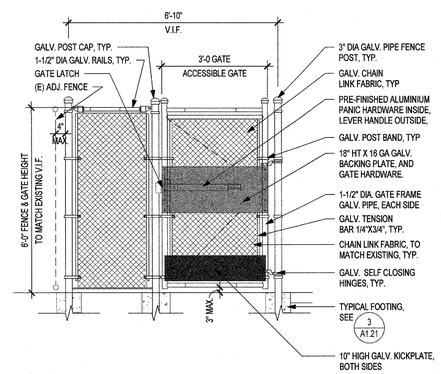
5 ELEVATION - MAIN FRONT GATE (GATE 1)
1/2" = 1'-0"



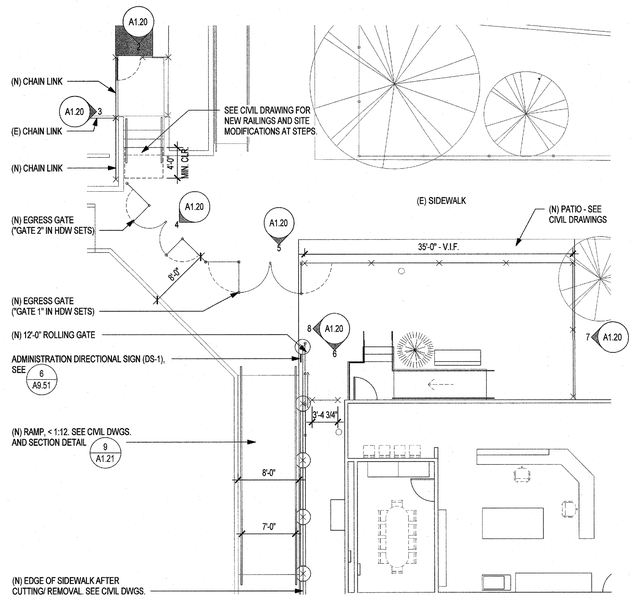
4 ELEVATION - SECONDARY FRONT GATE (GATE 2)
1/2" = 1'-0"



3 ELEVATION - FENCE ADJACENT TO SITE STAIRS
1/2" = 1'-0"



2 KINDERGARTEN YARD EGRESS GATE
1/2" = 1'-0"



1 FRONT GATE AND KINDERGARTEN STEPS
1/8" = 1'-0"

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CONSULTANT

PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
ACS FLS SSS
Date: DEC 2 1 2018

KEY PLAN
K A C D B E
PROJECT NORTH

PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
PLANS AND ELEVATIONS - FENCES AND GATES

DSK JOB NO: 17012B

SHEET NUMBER
A1.20

DRAFTER: Author PM: JL REVIEWER: JF

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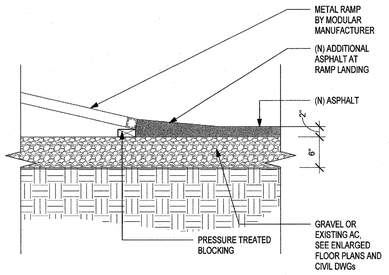
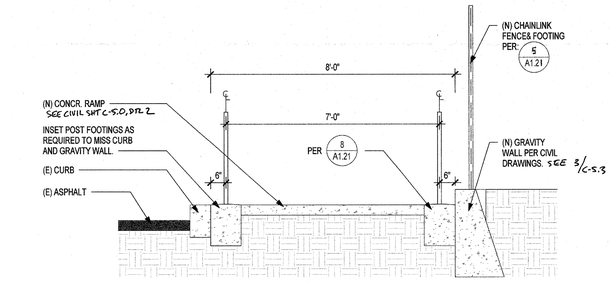
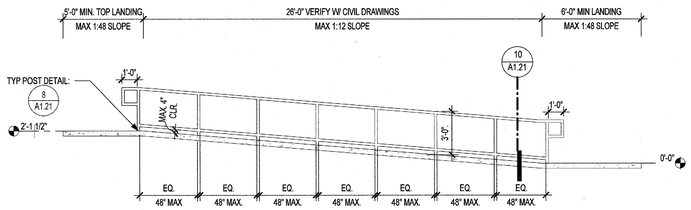


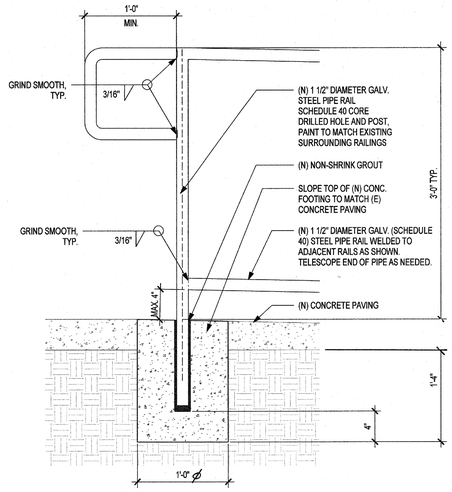
11 LANDING DETAIL
1" = 1'-0"



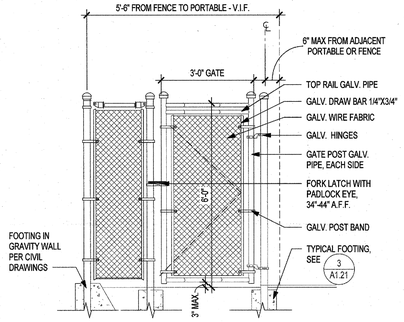
10 RAMP SECTION 2
1/2" = 1'-0"



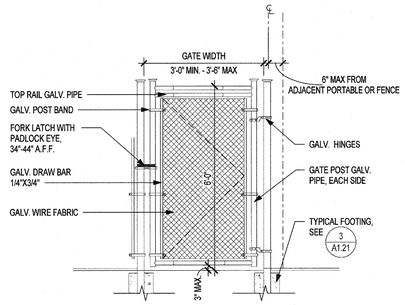
9 RAMP SECTION
1/4" = 1'-0"



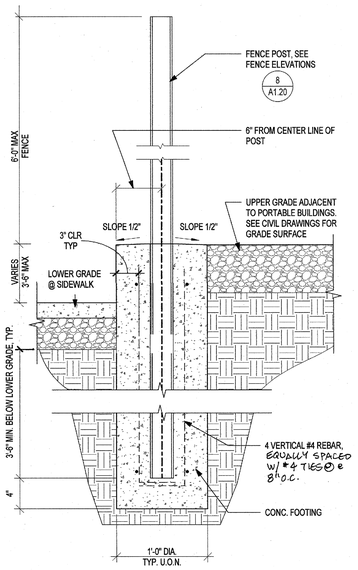
8 POST-MOUNT HANDRAIL FOOTING
1 1/2" = 1'-0"



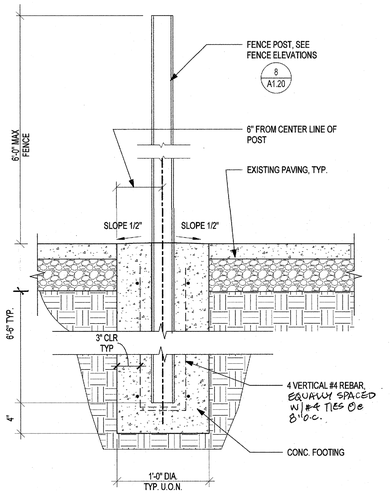
7 PORTABLES HVAC ACCESS GATE
1/2" = 1'-0"



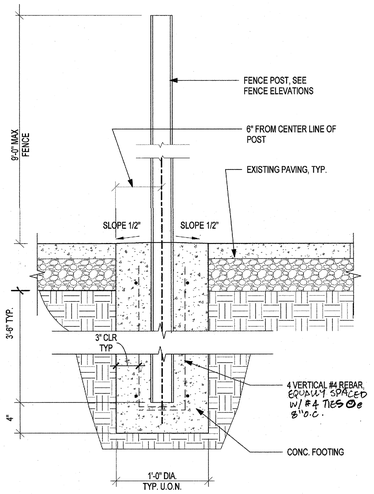
6 NEW CHAIN LINK SINGLE GATE
1/2" = 1'-0"



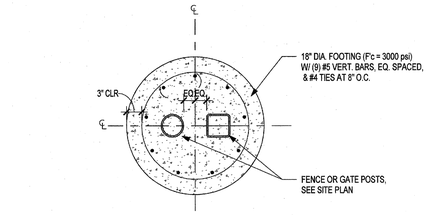
5 POST FOOTING DETAIL ALONG GRAVITY WALL
1 1/2" = 1'-0"



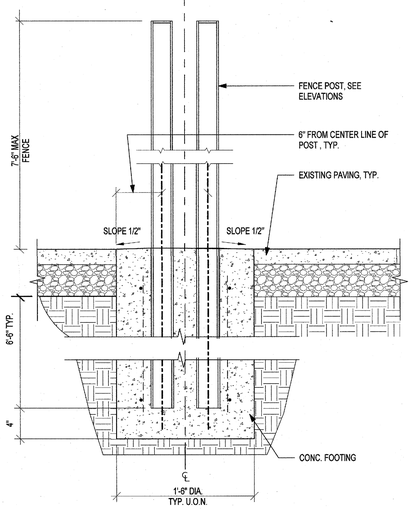
4 POST FOOTING DETAIL AT ROLLING GATE
1 1/2" = 1'-0"



3 TYPICAL POST FOOTING DETAIL
1 1/2" = 1'-0"

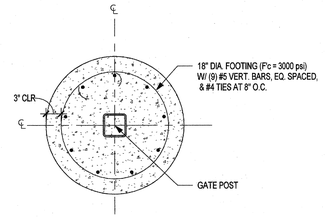


PLAN

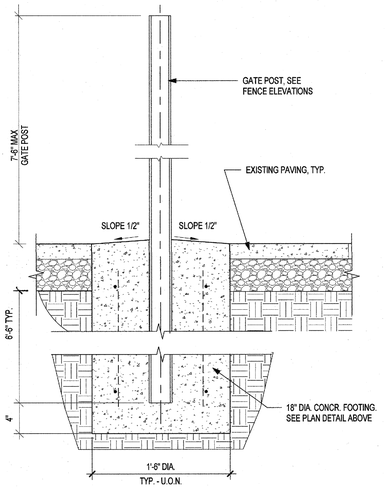


SECTION

2 DOUBLE POST FOOTING DETAIL
1 1/2" = 1'-0"



PLAN



SECTION

1 TYPICAL HEAVY GATE POST FOOTING
1 1/2" = 1'-0"

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FACILITY INFO
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6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

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DIVISION OF THE STATE ARCHITECT
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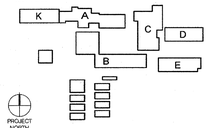
ACS: FLS: SSS:
Date: DEC 2 1 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
SITE DETAILS

DSK JOB NO: 170128

SHEET NUMBER
A1.21

DRAFTER: JH/JL PM: JL REVIEWER: JF

FINISH NOTES

1. DO NOT PAINT UNFINISHED / NATURAL FINISH WOOD U.O.N.. PROTECT AND PRESERVE IN PLACE.
2. DO NOT PAINT LAMINATE MATERIAL. PROTECT AND PRESERVE IN PLACE.
3. ALL INTERIOR WALLS, SOFFITS, PREVIOUSLY PAINTED WOODEN TRIM, AND TACKABLE SURFACES ARE TO RECEIVE PT-1, U.O.N.
4. CHECKERBOARD MIX LINOLEUM COMPOSITE TILE (LCT) FROM DIFFERENT BOXES IN SPACES WHERE ONE BOX IS NOT SUFFICIENT TO COVER THE ENTIRE FLOOR.
5. LCT TO BE INSTALLED IN A QUARTER-TURNED PATTERN. (TURNED WITH GRAIN PATTERN 90 DEGREES FROM ADJACENT TILES.)
6. BEGIN LCT INSTALLATION FROM THE CENTER OF THE TILED AREA. SHIFT PATTERN IF NEEDED TO AVOID NARROW "SLIVERS" OF TILE AT CARPET TRANSITION EDGES.
7. INFORM ARCHITECT OF ANY CONFLICT OR OVERSIGHT REGARDING FINISHES.
8. REFER TO SPECIFICATIONS TO SELECT INTERIOR PAINT APPROPRIATE TO EXPOSED SURFACES TO BE PAINTED.

FINISH LEGEND

MARK	MATERIAL	MFG.	PRODUCT LINE	COLOR	FINISH	PRODUCT #	LOCATION
PT-1	PAINT	PPG	CUSTOM	SMMUSD WHITE	SEMI-GLOSS	--	CLASSROOM WALL & CW
CT-1	CER. TILE	DALTILE*	KEYSTONE	SUEDE GRAY (D182)	UNGLAZED	--	BATHROOM FLOORS
CT-2	CWB	DALTILE*	KEYSTONE	SUEDE GRAY (D182)	UNGLAZED	C-833	BASE OF BATHROOM WALLS
CT-3	CER. TILE	DALTILE*	KEYSTONE	DESERT GRAY (D014)	MATTE	--	BATHROOM WALLS
LCT-1	LIN. TILE	FORBO	MARMOLEUM TILE	BLUE	--	MCT-3030	CLASSROOM FLOORS
WB-1	WALL BASE	FORBO*	6" RUBBER WALL BASE	BLACK	--	--	WALL BASE

* OR APPROVED EQUAL, PRODUCT AND COLOR TO BE APPROVED BY ARCHITECT

KEYNOTE LEGEND

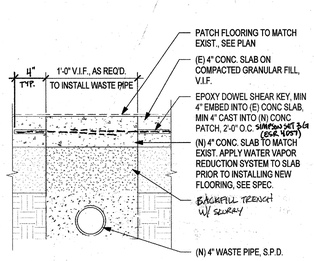
06.01	NEW CASEWORK, SEE ELEVATIONS.
09.12	(N) CERAMIC WALL TILE ON (E) GYP. BD. ON WD STUD WALL.
09.15	FURRING WALL - 5/8" GYP. BD. ON 2x4 WD STUDS @ 16" O.C. - ON CONC CURB, SEE DETAIL 11/A2.10A
09.19	WOOD STUD & GYPSUM BOARD PARTITION. 2X4 STUDS @ 16" O.C., SEE 11/A2.10A FOR BASE (TOILET ROOM ONLY), AND 10/A2.21 FOR TOP.
09.29	PATCH GLUE-ON CEILING TILES @ REMOVED CASEWORK.
09.32	(N) 1/2" GYP. BD. CEILING ON (E) 2X ROOF JOISTS. CEILING TO SLOPE TO FOLLOW (E) ROOF JOIST SLOPE.
09.36	PATCH LINOLEUM COMPOSITE TILE AT REMOVED CASEWORK TO MATCH EXISTING FLOORING.
09.37	PATCH & PAINT (E) GYP. BD. WALL AT REMOVED CASEWORK.
09.38	(N) 5/8" GYP. BD. ON (E) 2X FRAMING @ HEATER CLOSET TO MATCH EXIST, PAINT PT-1.
10.06	MIRROR.
10.07	GRAB BAR.
10.16	EXISTING FIRE EXTINGUISHER TO REMAIN.
12.01	PORTABLE CHANGING TABLE CART BY OWNER (N.I.C.)
12.02	REFRIGERATOR BY OWNER (N.I.C.)
15.01	TOILET, SEE PLUMBING DWGS
15.02	LAVATORY, SEE PLUMBING DWGS
15.12	(N) EXHAUST FAN UP TO ROOF, S.M.D. PATCH ROOF AS REQ'D TO MATCH EXISTING.
16.04	NEW SURFACE MOUNTED LIGHT FIXTURE, S.E.D.
16.05	NEW PENDANT LIGHT FIXTURE, S.E.D.
B.01	REMOVE EXISTING FLOORING MATERIAL & WALL BASE. PREPARE SURFACE TO RECEIVE NEW FINISH. SEE FINISH PLANS.
B.02	REMOVE EXISTING WALL BASE. PREPARE SURFACE TO RECEIVE NEW FINISH.
B.04	SAWCUT (E) CONCRETE SLAB AS REQ'D TO INSTALL (N) PLUMBING, COORDINATE W/PLUMBING DWGS. PATCH AS REQ'D TO MATCH EXIST.
B.06	(E) LINOLEUM TILE FLOORING & RUBBER BASE TO REMAIN, U.O.N.
C.06	CUT OPENING IN (E) PARTITION WALL FOR (N) WINDOW, SEE FLOOR PLAN & WINDOW SCHEDULE.
C.07	CUT & REMOVE (E) PARTITION WALL AT PREVIOUSLY INFILLED OPENING FOR (N) DOOR. CENTER (N) DOOR ON (E) PREVIOUSLY INFILLED OPENING. REMOVE (E) WOOD TRIM AROUND (E) INFILLED OPENING.
D.01	EXISTING CEILING SYSTEM TO REMAIN.
D.03	CUT AND REMOVE (E) GLUE-ON TILE CEILING & SUBSTRATE AT NEW ROOMS, SEE FLOOR PLAN. (E) ROOF JOISTS TO REMAIN.
H.04	REMOVE EXISTING CASEWORK, COUNTERTOP AND ALL ASSOCIATED ACCESSORIES.
M.02	REMOVE LAVATORY AND PREPARE PLUMBING FOR NEW LAVATORY - COORDINATE WITH PLUMBING DWGS.
N.01	REMOVE EXISTING LIGHT FIXTURES.
N.02	RELOCATE & REINSTALL EXISTING LIGHT FIXTURES, SEE FLOOR PLAN AND ELEC. DWGS.
N.05	EXISTING LIGHT FIXTURES TO REMAIN, TYP.

GENERAL NOTES

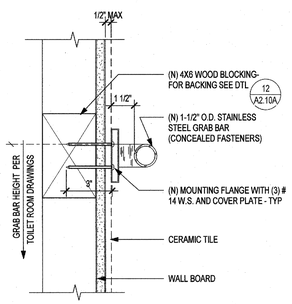
1. CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL WALLS, CEILINGS, AND FLOORING DAMAGED DURING DEMOLITION WORK.
2. ALL KEYNOTES ARE TYPICAL UNLESS OTHERWISE NOTED.
3. PRESERVE AND PROTECT ALL ITEMS NOT IN SCOPE OF WORK.
4. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD.
5. ALL SCREWS CONNECTING THROUGH DISSIMILAR METALS (STOREFRONT TO STEEL, FLASHING TO STEEL, ECT.) ARE TO BE STAINLESS STEEL.
6. CENTER LIGHT FIXTURES WITHIN SPACES, U.O.N.
7. APPLY LOW EXPANSION SPRAY FOAM BETWEEN SHIM AT ROUGH OPENING FOR WINDOW AND DOORS
8. EXISTING ROLLING SHADE SYSTEM TO BE REMOVED, WHERE REQ'D FOR NEW CONSTRUCTION, AND REINSTALLED BY OTHERS.
9. CONTRACTOR TO PROTECT CEILINGS AND CEILING TILES TO REMAIN DURING WORK. THIS INCLUDES DAMAGED CAUSED BY ADHESIVES APPLIED TO TILE.
10. ALL GYP. BD. IN TOILET ROOMS ARE TO BE MOISTURE RESISTANT.
11. FOR ACCESSIBLE MOUNTING HEIGHTS, SEE DETAIL 1 / A9.51
12. FOR BLOCKING DETAILS, SEE DETAILS 10 / A2.10A, 12 / A2.10A, 13 / A2.10A

LEGEND

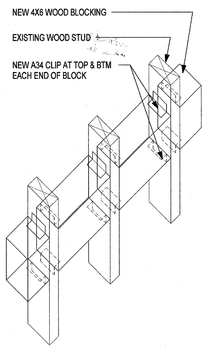
- EXISTING PARTITION/WALL
- NEW PARTITION/WALL
- REMOVE EXISTING ITEMS / PARTITION / WALL
- REMOVE EXISTING FINISH FLOOR / WALL / CEILING FINISH
- PATCH FLOOR W/ (N) CONC SLAB & LCT-1 FLOORING TO MATCH EXISTING
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- 16A — NEW DOOR, SEE DOOR SCHEDULE
- DOOR TAG
- NEW WINDOW



14 SLAB PATCHING DETAIL
1 1/2" = 1'-0"



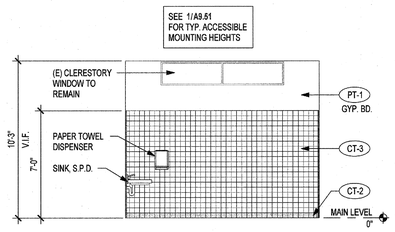
13 GRAB BAR WOOD BLOCKING
3" = 1'-0"



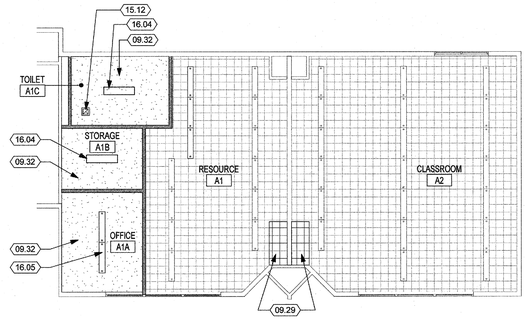
NOTES:

1. USE FOR WALL-MOUNTED HANDRAIL, GRAB BARS, SURFACE MOUNTED MIRROR, LAVATORY, URINAL, AND TOWEL DISPENSERS
2. LENGTH, HEIGHT AND LOCATION TO SUIT ITEMS BEING FASTENED
3. DO NOT CUT OR DAMAGE EXISTING VERICAL STUD

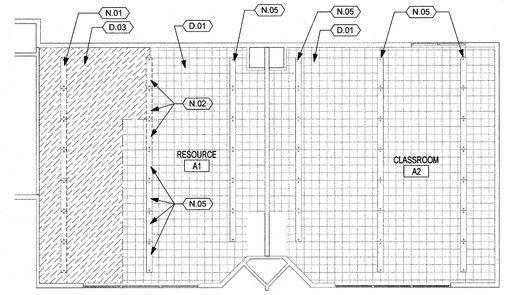
12 TYPICAL WOOD BLOCKING DETAIL
1 1/2" = 1'-0"



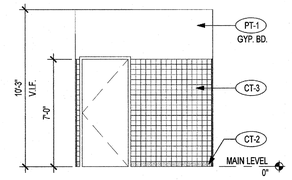
9 NORTH ELEVATION - TOILET A1C
1/4" = 1'-0"



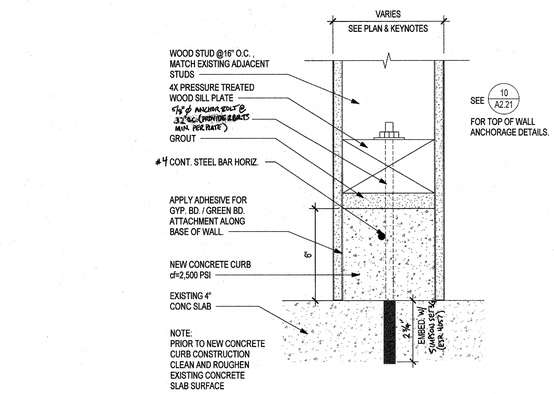
4 REFLECTED CEILING PLAN - BLDG A PARTIAL
1/8" = 1'-0"



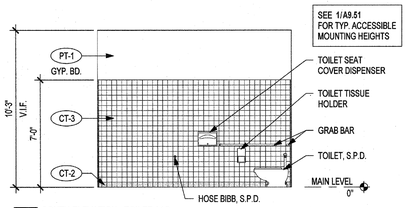
3 DEMO REFLECTED CEILING PLAN - BLDG A PARTIAL
1/8" = 1'-0"



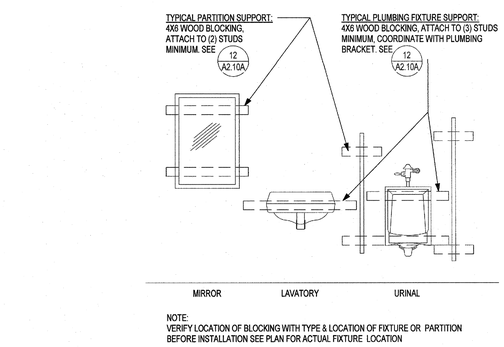
8 EAST ELEVATION - TOILET A1C
1/4" = 1'-0"



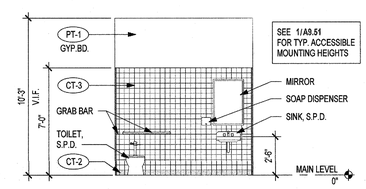
11 WALL CURB DETAIL
3" = 1'-0"



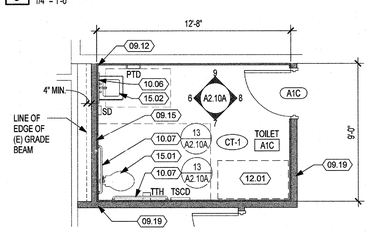
7 SOUTH ELEVATION - TOILET A1C
1/4" = 1'-0"



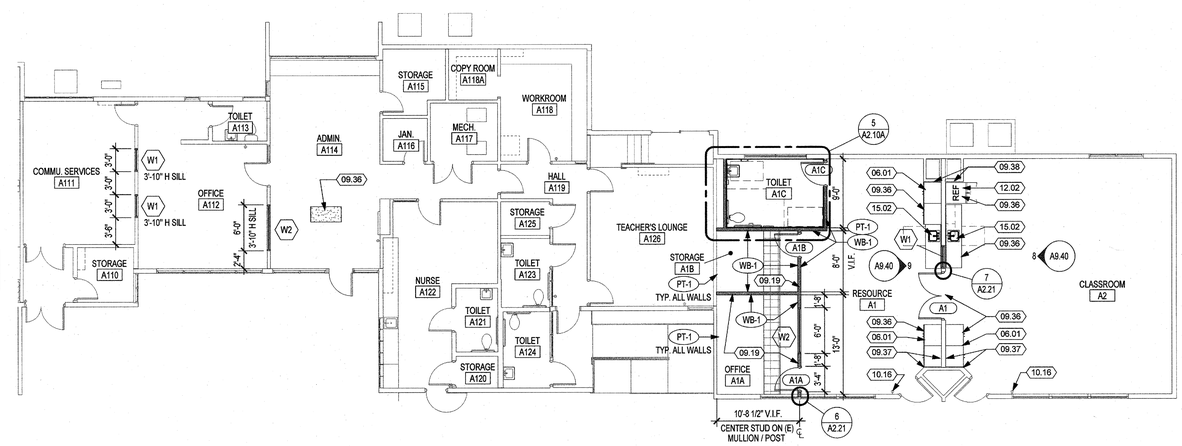
10 WALL MOUNTED FIXTURE SUPPORT (WOOD BLOCK)
1/4" = 1'-0"



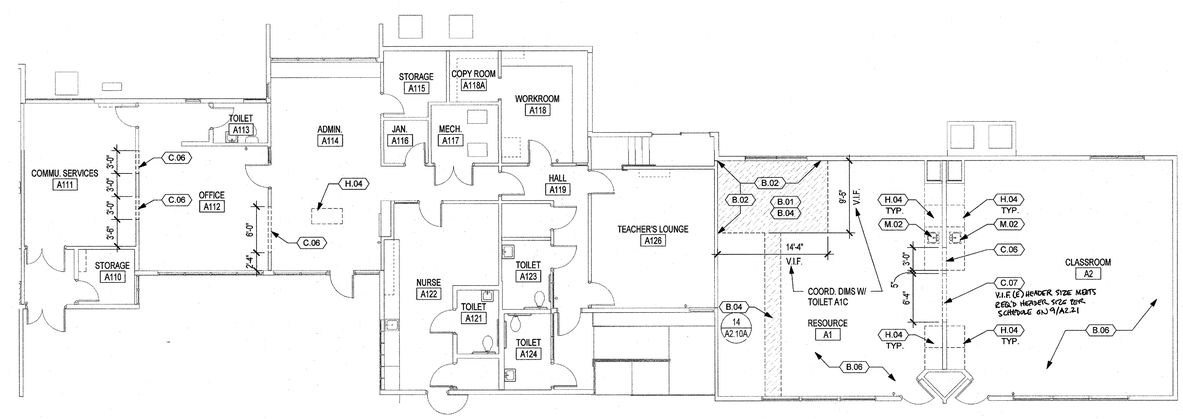
6 WEST ELEVATION - TOILET A1C
1/4" = 1'-0"



5 ENLARGED PLAN - TOILET A1C
1/4" = 1'-0"



2 FLOOR PLAN - BLDG A
1/8" = 1'-0"



1 DEMO PLAN - BLDG A
1/8" = 1'-0"

TRUE N

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6955 Fernhill Dr, Malibu, CA 90265

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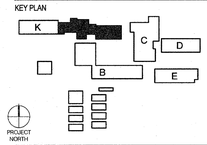
KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
BLDG A - DEMO, FLOOR & FINISH PLANS, ELEVATIONS & DETAILS

DSK JOB NO: 17012B

SHEET NUMBER
A2.10A

DRAFTER: JL PM: JL REVIEWER: JF

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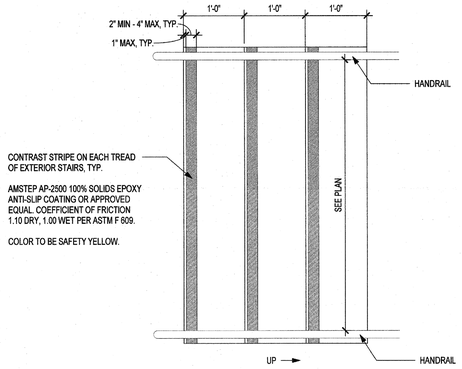
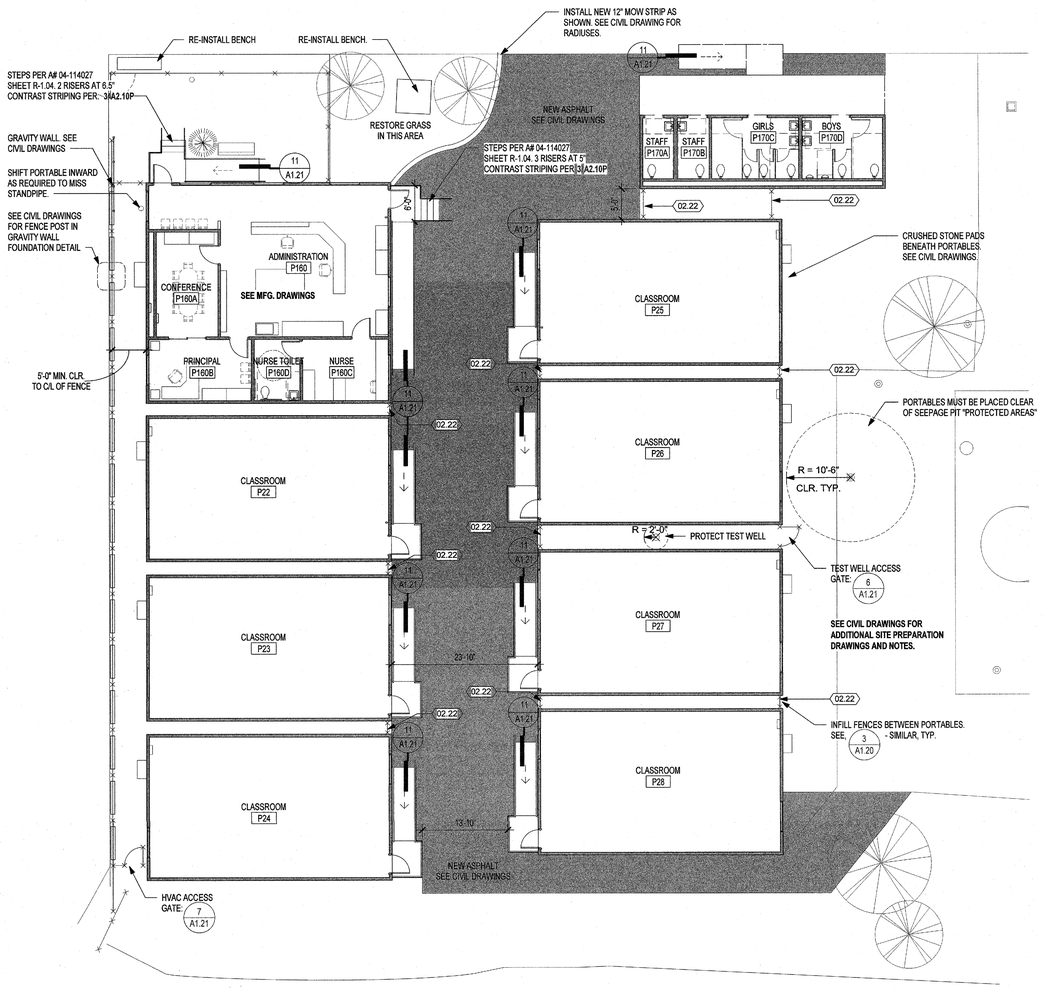
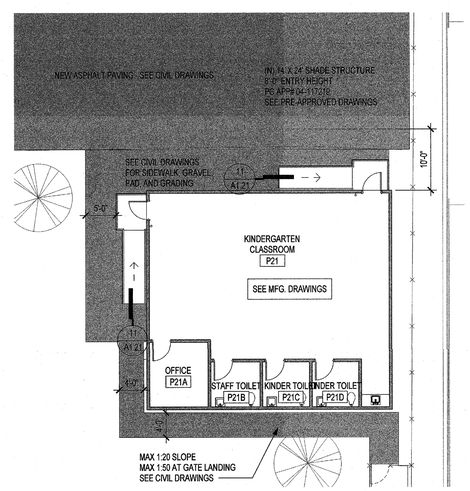


3 TYPICAL STAIR CONTRAST STRIPING
1" = 1'-0"



2 LOWER CAMPUS PORTABLES
1" = 10'-0"



1 KINDERGARTEN PORTABLE
1" = 10'-0"

SITE SPECIFIC APPLICATION PLAN FOR SHADE STRUCTURE

1. SHADE STRUCTURE TO BE 14' X 24'.
2. FOR DIMENSIONS FROM ADJACENT BUILDINGS AND PROPERTY LINES, SEE 1/A0.02
3. FOR CODE ANALYSIS WITH REGARD TO SHADE STRUCTURE, SEE A0.01
4. FOR NEAREST FIRE EXTINGUISHER, SEE 2/A0.04
5. NEAREST FIRE ALARMS ARE LOCATED IN KINDERGARTEN PORTABLE. SEE ELECTRICAL DRAWINGS OF KINDERGARTEN PORTABLE.
6. SHADE STRUCTURE IS IN MALIBU. SNOW LOAD AND SNOW CLEARANCE ARE NOT A DESIGN FACTOR.
7. SHADE STRUCTURE INSTALLED AT 136.5 FT ABOVE SEA LEVEL. SEE CIVIL DRAWINGS. SNOW LOAD AND SNOW CLEARANCE ARE NOT A DESIGN FACTOR AT THIS SITE.
8. N/A
9. STRUCTURE TO BE MODEL DSA40120312-16, PC# 04-117219, ACTUAL SIZE 14' X 24'
10. ALL SADDLES, CLAMPS, AND FITTINGS SHALL CONFORM TO THE GUIDELINES AS SPECIFIED IN APPENDICES "A, B & C" RESPECTIVELY IN ASCE 19-10, "STRUCTURAL APPLICATIONS OF STEEL CABLES FOR BUILDINGS.
11. GEO-HAZARD REPORT NOT REQUIRED PER DSA IR A-4.13, SECTION 3.1.1. (REGULAR HIPPED SHADE STRUCTURE < 1600 SF SUPPORTED AT ALL 4 CORNERS W/ COLUMN SPACING <40 FT)

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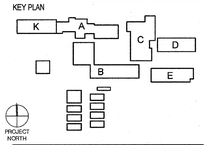

PROJECT ISSUE DATE: 2018/12/20

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2018/12/20		DSA BACKCHECK

SHEET TITLE
PORTABLES PLANS

DSK JOB NO: 17012B

SHEET NUMBER
A2.10P

DRAFTER: Author PM: JL REVIEWER: JF

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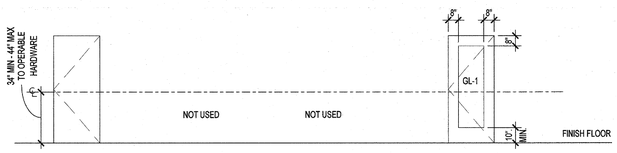
DOOR SCHEDULE

ROOM NO.	ROOM NAME	DOOR HDW SET	DOOR NO.	DOOR NEW	DOOR EXTERIOR	DOOR WIDTH	DOOR HGT.	DOOR TYPE	DOOR MAT.	DOOR FINISH	DOOR GLASS	FRAME NEW	FRAME MAT.	FRAME TYPE	FRAME FINISH	FIRE RATING	STC	DETAILS HEAD	DETAILS JAMB	DETAILS THRESH	HARDWARE NEW	HARDWARE THRESH	HARDWARE PANIC	HARDWARE CLOSER	PLACE IN (E) OPENING*	GENERAL REMARKS
A1	RESOURCE	1	A1	Yes	No	6'-0"	7'-0"	D	WD	CV	GL-1	Yes	HM	B	PT-1	-	-	2/A2.21	1/A2.21	-	Yes	No	No	No	No	
A1A	OFFICE	2	A1A	Yes	No	3'-0"	7'-0"	A	WD	CV	-	Yes	HM	A	PT-1	-	-	5/A2.21	5/A2.21	-	Yes	No	No	No	No	
A1B	STORAGE	3	A1B	Yes	No	3'-0"	7'-0"	A	WD	CV	-	Yes	HM	A	PT-1	-	-	5/A2.21	5/A2.21	-	Yes	No	No	No	No	
A1C	TOILET	4	A1C	Yes	No	3'-0"	7'-0"	A	WD	CV	-	Yes	HM	A	PT-1	-	-	5/A2.21	5/A2.21	8/A2.21	Yes	Yes	No	Yes	No	

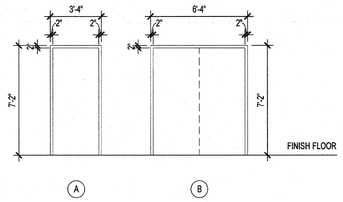
Grand total: 4

DOOR TYPES

COMPLIANT WITH 2016 CBC



FRAME TYPES



DOOR SCHEDULE LEGEND

MATERIALS

- AL ALUMINUM
- HM HOLLOW METAL
- MTL METAL
- SS STAINLESS STEEL
- STL STEEL
- WD WOOD
- FF FACTORY FINISH
- CV CLEAR VARNISH - FACTORY FINISH FOR WOOD
- PT PAINT
- EX EXISTING MATERIAL
- GL-1 ALL VISION PANELS TO BE SINGLE GLAZE, CLEAR GLASS, IMPACT RESISTANT. SEE GLAZING SPECIFICATIONS.

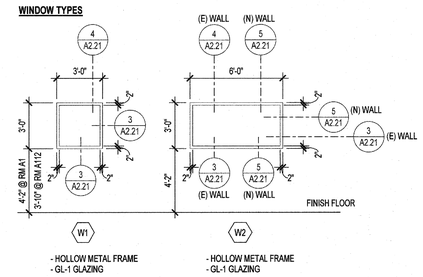
ABBREVIATIONS

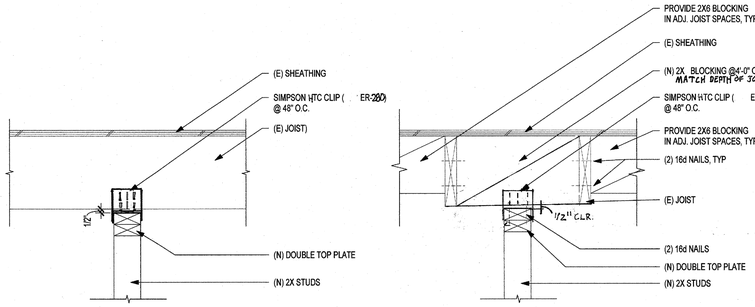
- SF DOOR IS FRAMED BY A STOREFRONT WINDOW SYSTEM
- PR EVEN PAIR DOORS
- U UNEVEN PAIR DOORS WITH ONE LEAF AT 3'-0" WIDTH
- * BLANK OR "NO" IN COLUMN IS EQUIVALENT TO **PLACE IN NEW FRAMED OPENING**

DOOR NOTES

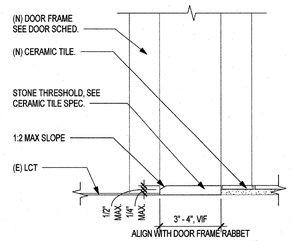
A. ALL FIRE RATED DOORS SHALL BE POSITIVE LATCHING AND SELF-CLOSING OR ACTIVATED BY SMOKE DETECTOR PER C.B.C. SECTION 716
B. DOOR HARDWARE GROUPS LOCATED IN PROJECT MANUAL SECTION **08 70 00**
C. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
D. ALL NEW FRAMES ARE 2" NOMINAL U.O.N.
E. FOR FINISHES SEE SPECIFICATIONS.
F. EXISTING HARDWARE TO REMAIN FOR DOORS NOT GETTING NEW HARDWARE.
G. THE CONTRACTOR IS TO PROVIDE A WORKING SYSTEM AND ENSURE COMPATIBILITY OF DOOR ASSEMBLY AND NEW HARDWARE.
H. FURNISH A WOODWORK INSTITUTE WI CERTIFIED COMPLIANCE LABEL ON EACH WD DOOR.
J. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 5 LBS. FORCE.
K. DIMENSIONS FOR EXISTING DOORS ARE APPROXIMATE, V.I.F.
L. DIMENSIONS FOR NEW DOORS IN EXISTING OPENINGS APPROXIMATE. V.I.F.
M. FIRE RATED GLAZING TO MATCH FIRE RATING OF DOOR ASSEMBLY. GLAZING SHALL ALSO BE IMPACT RATED.
N. NEW DOOR THICKNESS 1 3/4"
O. NOT USED
P. VERIFY IN FIELD (E) OPENING DIMENSIONS FOR (N) DOORS AND FRAMES.
Q. NEW 10" x DOOR WIDTH STAINLESS STEEL KICKPLATE AT ALL (N) DOORS.
R. EXISTING DOOR LEAF DESIGN MAY NOT MATCH SITE CONDITIONS. THEY ARE SHOWN FOR GRAPHICS ONLY TO SHOW HEIGHT & WIDTH.
S. SALVAGE ALL HARDWARE THAT ARE BEING REMOVED. INVENTORY ALL EXISTING HARDWARE FOR EACH DOOR THAT IS BEING UPGRADED. AS PART OF INVENTORY PROCESS, EACH DOOR BE PHOTOGRAPHED FROM BOTH SIDES TO SHOW ALL HARDWARE, HARDWARE FUNCTIONS, AND LATCH SIDE CLEARANCES. COORDINATE WITH SAN FRANCISCO UNIFIED DISTRICT'S BUILDINGS AND GROUNDS LOCK SHOP SUPERVISOR. THE SMMUSD LOCKSHOP RETAINS SALVAGE RIGHTS TO DOOR LOCKS & HARDWARE
T. INFILL SHIM AND FRAMING ARE EXPECTED TO SECURE NEW DOOR FRAMES BEING PLACED IN (E) OPENINGS.

WINDOW TYPES

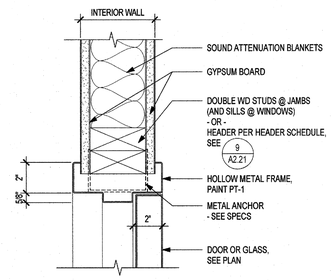




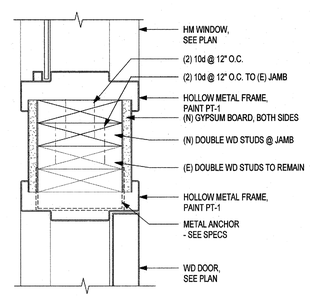
10 TOP OF WALL DETAIL (NON-BEARING)
1 1/2" = 1'-0"



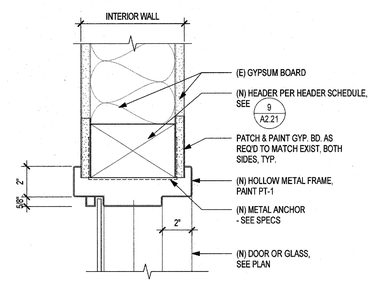
8 MARBLE THRESHOLD DETAIL
3" = 1'-0"



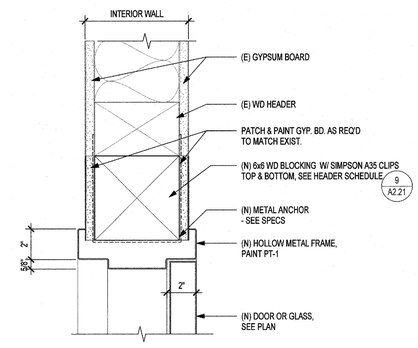
5 NEW INTERIOR HM FRAME HEAD/JAMB DETAIL (NEW WALL CONSTRUCTION)
3" = 1'-0"



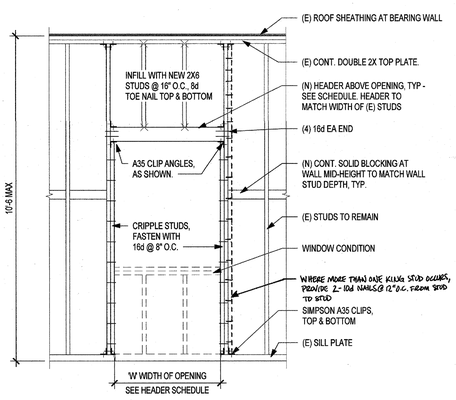
7 JAMB DETAIL AT DOOR A1 & WINDOW W1
3" = 1'-0"



4 NEW INTERIOR HM FRAME HEAD DETAIL (EXISTING WALL RETROFIT)
3" = 1'-0"



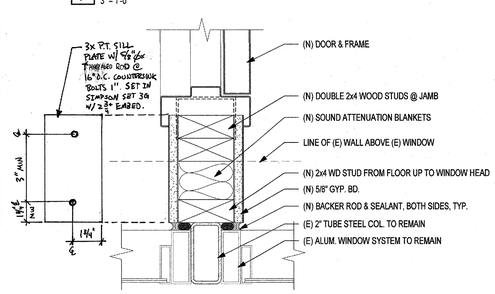
2 NEW INTERIOR HM FRAME HEAD DETAIL (EXISTING WALL CONSTRUCTION)
3" = 1'-0"



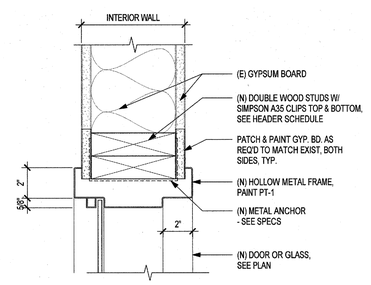
HEADER SCHEDULE (BEARING)			
HEADER SIZE	'W' WIDTH OF OPENING	# OF CRIPPLES	# OF KINGS
6X6	UP TO 3'-5" MAX	1	1
6X8	3'-6" TO 6'-6"	1	2
6X12	6'-7" TO 9'-6"	1	3

HEADER SCHEDULE (NON-BEARING)			
HEADER SIZE	'W' WIDTH OF OPENING	# OF CRIPPLES	# OF KINGS
4X4	UP TO 9'-6" MAX	1	1

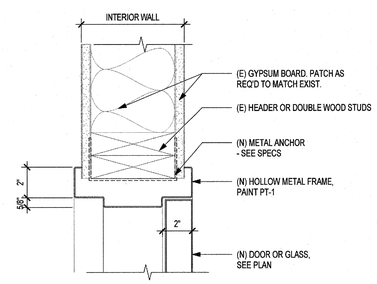
9 TYP. HEADER FRAMING DETAIL & SCHEDULE
1/2" = 1'-0"



6 WALL INTERSECTION PLAN DETAIL @ ALUM. WINDOW
3" = 1'-0"



3 NEW INTERIOR HM FRAME JAMB DETAIL (EXISTING WALL RETROFIT)
3" = 1'-0"



1 NEW INTERIOR HM FRAME JAMB DETAIL (EXISTING WALL CONSTRUCTION)
3" = 1'-0"

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LICENSED ARCHITECT JEFFREY M. FULLER No. C-31852 Exp. 04-30-19 STATE OF CALIFORNIA

CONSULTANT

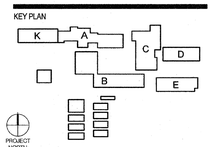
PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
ACS FLS SSS
Date: DEC 2 1 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS

SHEET TITLE
DOOR & WINDOW SCHEDULE & DETAILS

DSK JOB NO: 1701/2B

SHEET NUMBER
A2.21

DRAFTER: JL PM: JL REVIEWER: JF

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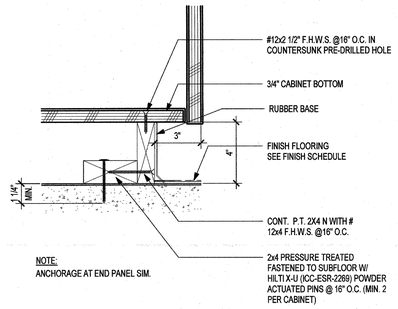
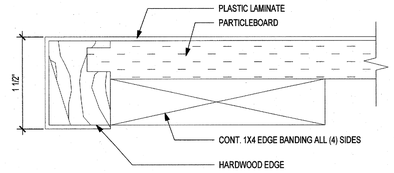
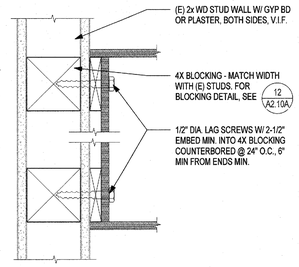


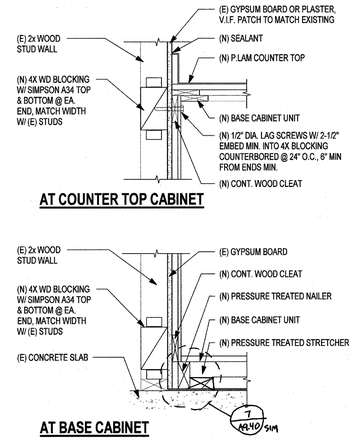
7 BASE CABINET ATTACHMENT
3" = 1'-0"



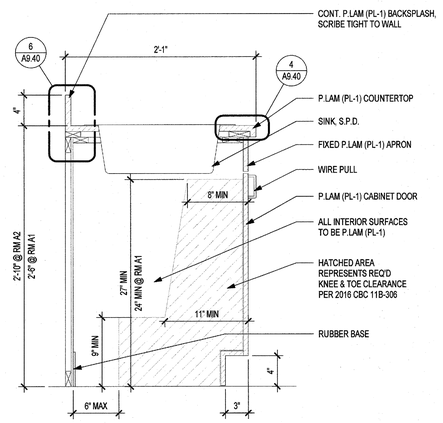
4 TYPICAL EDGE OF COUNTERTOP
1 1/2" = 1'-0"



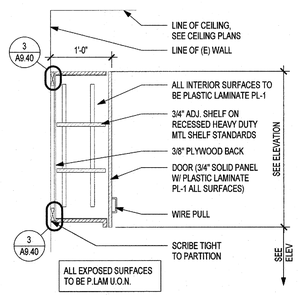
3 TYP. CABINET WALL ATTACHMENT
3" = 1'-0"



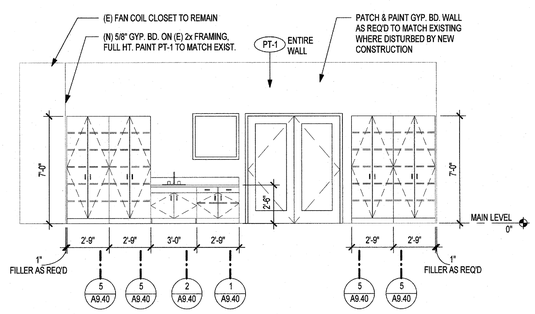
6 CASEWORK ATTACHMENT DETAILS
1 1/2" = 1'-0"



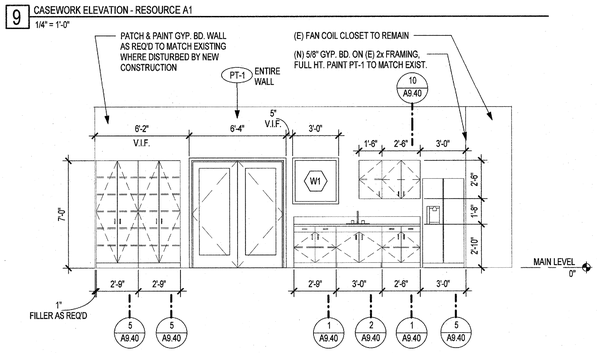
2 BASE CABINET W/ SINK DETAIL (ACCESSIBLE APPROACH)
1 1/2" = 1'-0"



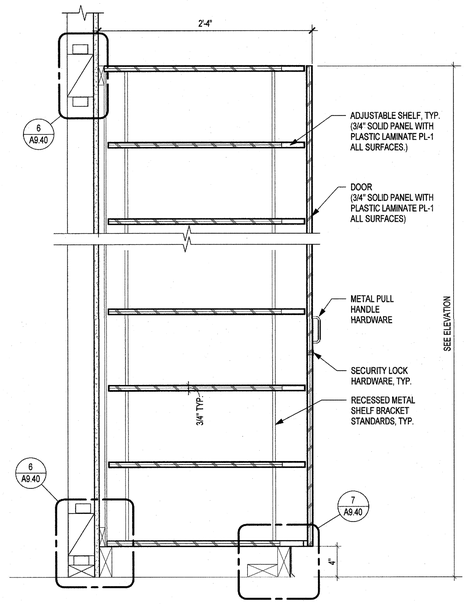
10 UPPER CABINET DETAIL
1" = 1'-0"



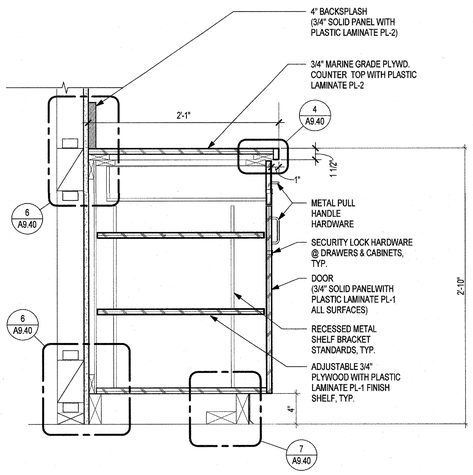
9 CASEWORK ELEVATION - RESOURCE A1
1/4" = 1'-0"



8 CASEWORK ELEVATION - CLASSROOM A2
1/4" = 1'-0"



5 FULL HEIGHT CABINET SECTION WITH SECURITY LOCK
1 1/2" = 1'-0"



1 BASE CABINET DETAIL
1 1/2" = 1'-0"

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LICENSED ARCHITECT JEFFERY M. FULLER No. C-31652 Exp. 04-30-19 STATE OF CALIFORNIA
SIGNED AND SEALED: 02/22/2018

CONSULTANT

PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
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6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
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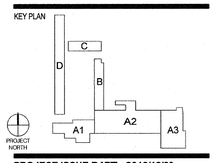
Date: DEC 4 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
CASEWORK ELEVATIONS & DETAILS

DSK JOB NO: 17012B

SHEET NUMBER
A9.40

DRAFTER: JL PM: JL REVIEWER: JF

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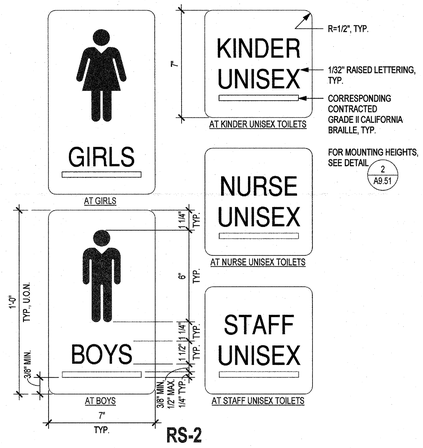
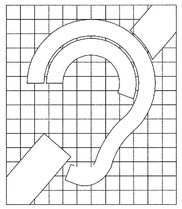


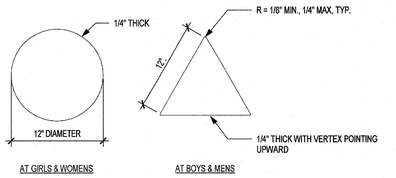
5 ROOM IDENTIFICATION SIGN - TOILETS
3" = 1'-0"

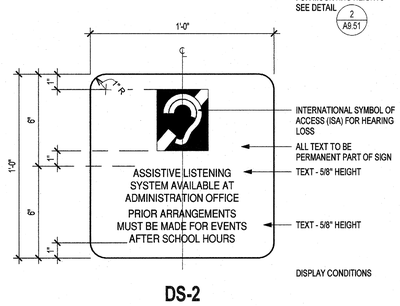


NOTE:
1. VISUAL CHARACTERS ARE RAISED 1/32". CHARACTERS ARE SANSERIF FONT AND UPPERCASE. LETTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60% MIN. AND 110% MAX. OF THE HEIGHT OF THE UPPERCASE LETTER "I". STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 10% MIN. AND 20% MAX. OF THE HEIGHT OF THE CHARACTER FOR VISUAL.

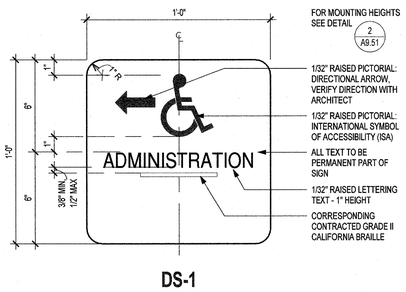
THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION

SYMBOL PROPORTIONS

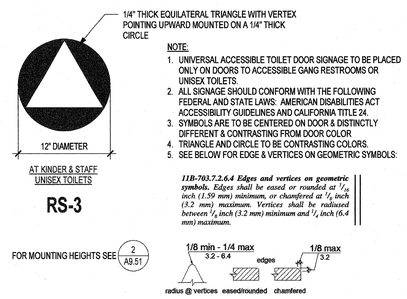




7 DIRECTIONAL SIGN - ASSISTIVE LISTENING
3" = 1'-0"



6 DIRECTIONAL SIGN - ACCESSIBLE ROUTE
3" = 1'-0"



NOTE:
1. UNIVERSAL ACCESSIBLE TOILET DOOR SIGNAGE TO BE PLACED ONLY ON DOORS TO ACCESSIBLE GANG RESTROOMS OR UNISEX TOILETS
2. ALL SIGNAGE SHOULD CONFORM WITH THE FOLLOWING FEDERAL AND STATE LAWS: AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CALIFORNIA TITLE 24.
3. SYMBOLS ARE TO BE CENTERED ON DOOR & DISTINCTLY DIFFERENT & CONTRASTING FROM DOOR COLOR
4. TRIANGLE AND CIRCLE TO BE CONTRASTING COLORS.
5. SEE BELOW FOR EDGE & VERTICES ON GEOMETRIC SYMBOLS:

11B-703.7.2.6.4 Edges and vertices on geometric symbols. Edges shall be eased or rounded at $^1/_{16}$ inch (1.59 mm) minimum, or chamfered at $^1/_8$ inch (3.2 mm) maximum. Vertices shall be rounded between $^1/_8$ inch (3.2 mm) minimum and $^1/_4$ inch (6.4 mm) maximum.

4 UNIVERSAL ACCESSIBLE TOILET DOOR SIGNAGE
1 1/2" = 1'-0"

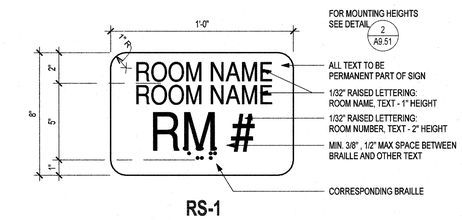
SIGNAGE SCHEDULE

ROOM NAME	ROOM NUMBER	SIGNAGE NUMBER	SIGNAGE TEXT *	SIGNAGE TYPE *
TOILET	A1C	-	-	RS-3
KINDERGARTEN CLASSROOM	P21	21	CLASSROOM	RS-1
OFFICE	P21A	21A	OFFICE	RS-1
STAFF TOILET	P21B	-	STAFF UNISEX	RS-2 & RS-3
KINDER TOILET	P21C	-	KINDER UNISEX	RS-2 & RS-3
KINDER TOILET	P21D	-	KINDER UNISEX	RS-2 & RS-3
CLASSROOM	P22	22	CLASSROOM	RS-1
CLASSROOM	P23	23	CLASSROOM	RS-1
CLASSROOM	P24	24	CLASSROOM	RS-1
CLASSROOM	P25	25	CLASSROOM	RS-1
CLASSROOM	P26	26	CLASSROOM	RS-1
CLASSROOM	P27	27	CLASSROOM	RS-1
CLASSROOM	P28	28	CLASSROOM	RS-1
ADMINISTRATION	P160	160	ADMINISTRATION	RS-1
CONFERENCE	P160A	160A	CONFERENCE	RS-1 & DS-2
PRINCIPAL	P160B	160B	PRINCIPAL	RS-1
NURSE	P160C	160C	NURSE	RS-1
NURSE TOILET	P160D	-	NURSE UNISEX	RS-2 & RS-3
STAFF	P170A	-	STAFF UNISEX	RS-2 & RS-3
STAFF	P170B	-	STAFF UNISEX	RS-2 & RS-3
GIRLS	P170C	-	GIRLS	RS-2 & RS-3
BOYS	P170D	-	BOYS	RS-2 & RS-3

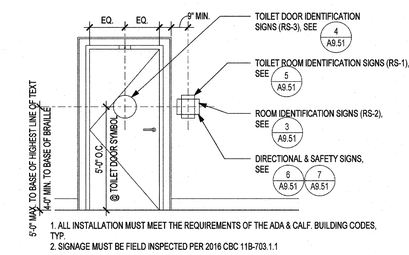
* FINAL ROOM NAMES AND NUMBERS SHALL BE VERIFIED WITH THE ARCHITECT AND DISTRICT PRIOR TO FABRICATION

GENERAL NOTES:

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SIGNAGE AS SCHEDULED ABOVE, AS SHOWN ON THE PLANS, AND AS NOTED IN THE SPECS (10 14 00).
2. SIGNAGE LOCATIONS FOR PORTABLE CLASSROOM AND TOILET ROOM BUILDINGS ARE SHOWN IN THE MANUFACTURER'S PC-APPROVED DRAWINGS.



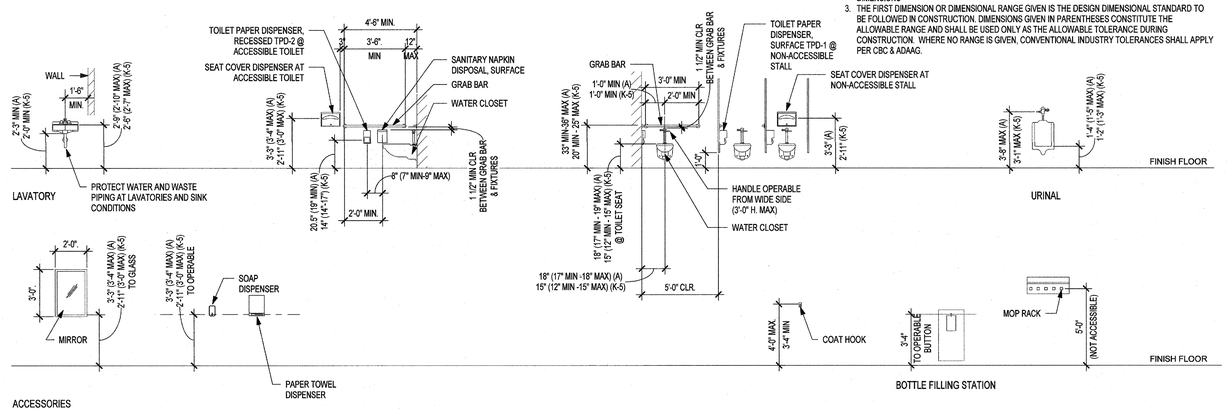
3 ROOM IDENTIFICATION SIGN, TYP.
3" = 1'-0"



1. ALL INSTALLATION MUST MEET THE REQUIREMENTS OF THE ADA & CALF. BUILDING CODES, TYP.
2. SIGNAGE MUST BE FIELD INSPECTED PER 2016 CBC 11B-703.1.1

2 TYPICAL MOUNTING HEIGHTS @ DOORS
3/8" = 1'-0"

NOTES:
1. MOUNTING SCHEDULE FOR STAFF TOILETS ARE ADULT **(A)** DIMENSIONS
2. MOUNTING SCHEDULE FOR KINDER TOILETS & BOYS/GIRLS RESTROOMS ARE K THRU 5 **(K-5)** DIMENSIONS
3. THE FIRST DIMENSION OR DIMENSIONAL RANGE GIVEN IS THE DESIGN DIMENSIONAL STANDARD TO BE FOLLOWED IN CONSTRUCTION. DIMENSIONS GIVEN IN PARENTHESES CONSTITUTE THE ALLOWABLE RANGE AND SHALL BE USED ONLY AS THE ALLOWABLE TOLERANCE DURING CONSTRUCTION. WHERE NO RANGE IS GIVEN, CONVENTIONAL INDUSTRY TOLERANCES SHALL APPLY PER CBC & ADAAG.



1 2016 ACCESSIBLE MOUNTING SCHEDULE (W/ K-5 HEIGHT)
1/4" = 1'-0"

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LICENSED ARCHITECT JEFFERY M. PULLER No. C-39652 Exp. 04-30-19 STATE OF CALIFORNIA

CONSULTANT

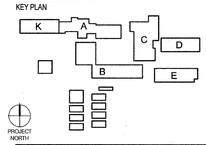
PROJECT NAME
POINT DUME E.S. TEMPORARY HOUSING PROJECT

FACILITY INFO
POINT DUME ELEMENTARY SCHOOL
6955 Fernhill Dr, Malibu, CA 90265

AGENCY STAMP

FILE NUMBER: 19-96
IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
03-119266
ACIS PLS 72 SSS 91
Date: DEC 2 1 2018

KEY PLAN



PROJECT ISSUE DATE: 2018/12/20

DATE	NO.	REVISIONS
2018/12/20		DSA BACKCHECK

SHEET TITLE
ACCESSIBLE DETAILS

DSK JOB NO: 17012B

SHEET NUMBER
A9.51

DRAFTER: Author PM: JL REVIEWER: JF

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